

**DEVELOPMENT PACKAGE NOTES**

1. THE ADMINISTRATIVE/SITE ADDRESS IS 3814 W RIVER ROAD.
2. ASSESSOR'S PARCEL NUMBER IS 101-23-360S.
3. FIRE FLOW, BY TUCSON WATER, REQUIRED FOR THIS BUILDING BASED ON V-B CONSTRUCTION TYPE OF 2,844 SF AT 1,500 GPM FOR 2 HOURS.
4. CERTIFICATION OF SURVEY CAN BE FOUND ON THE FINAL PLAT FOR MARANA MARKETPLACE LOTS 1 THRU 7, TOWN OF MARANA CASE NUMBER PRV1709-001.

**ZONING AND LAND USE NOTES:**

5. EXISTING ZONING IS HI (HEAVY INDUSTRIAL) PER ORDINANCE NO. 96.45.
6. THE GROSS AREA OF THIS DEVELOPMENT IS 0.42 ACRES (18,380 SF)  
THE TOTAL FLOOR AREA OF THE BUILDING IS: 2,844 S.F.
7. BUILDING COVERAGE: 21.3%  
(MAX 50% ALLOWED)
8. PROPOSED BUILDING HEIGHT: 24'6"  
MAXIMUM BUILDING HEIGHT ALLOWED: 55'
9. DEVELOPMENT ADJACENT TO A COMMERCIAL PARCEL: 20' SETBACK REQUIRED
10. LANDSCAPE REQUIREMENTS PER MARANA MARKETPLACE PHASE 3 DEVELOPMENT PACKAGE FOR PERIMETER LANDSCAPING. ADDITIONAL PARKING LOT AND SCREENING VEGETATION PROPOSED WITH THIS DEVELOPMENT AS SHOWN ON THE LANDSCAPE PLAN. ALL LANDSCAPE AREAS TO BE DEPRESSED 6" FOR WATER HATER HARVESTING. FOR LANDSCAPING REQUIREMENTS, SEE SHEET 7 'LANDSCAPE NOTES'.
11. ALL ADDRESSES WILL BE DISPLAYED PER TOWN OF MARANA ADDRESS STANDARDS AT THE TIME OF FINAL INSPECTION.
12. ALL WALLS SHALL BE CONSTRUCTED OF, OR PAINTED, WITH GRAFITITI-RESISTANT MATERIALS.
13. ADDITIONAL SIGNAGE IS PROPOSED AS PART OF THIS DEVELOPMENT. ALL SIGNAGE TO BE APPROVED UNDER SEPARATE PERMIT.
14. DEVELOPER WILL COVENANT TO HOLD TOWN OF MARANA, ITS SUCCESSORS AND ASSIGNS, HARMLESS IN THE EVENT OF FLOODING.
15. THIS DEVELOPMENT COMPLIES WITH MARANA CODE 12-3-6 FOR ACCESSIBLE PARKING SIGNAGE REQUIREMENTS.
16. ALL EXTERIOR LIGHTING SHALL BE PER THE CURRENTLY ADOPTER TOWN OF MARANA OUTDOOR LIGHTING CODE.

**PARKING REQUIRED:**

1. MARANA MARKETPLACE PHASE 3 - 483 REQUIRED AND 534 PROVIDED (INCLUDING 16 ACCESSIBLE SPACES) LESS 3 SPACES AT NEW DUMPSTER
2. POPEYES' PAD - 10 SPACES REQUIRED AND 8 SPACES PROVIDED
3. CROSS ACCESS AND PARKING PROVIDED PER AGREEMENT RECORDED AT SEQ. 20132340103
4. LOADING ZONE NOT REQUIRED

CERTIFICATION OF SURVEY FOUND ON THE FINAL PLAT FOR MARANA MARKET PLACE LOTS 1 THRU 7, TOWN OF MARANA, CASE NUMBER PRV1709-001.

**DEVELOPMENT TEAM**

**OWNER:**  
MMP INVESTORS, LLC  
6298 E GRANT ROAD, STE 100  
TUCSON AZ 85712  
ATTN: MICHAEL SCARBROUGH  
PHONE: (602) 850-8101  
EMAIL: MIKE@LDCAZ.COM

**DEVELOPER:**  
LAND DEVELOPMENT CONSULTANTS  
11811 N. TATUM BOULEVARD, SUITE 1051  
PHOENIX, AZ 85028  
ATTN: WILLIAM SCARBROUGH  
PHONE: (602) 850-8101  
EMAIL: BILL@LDCAZ.COM

**CIVIL ENGINEER:**  
STAR CONSULTING OF ARIZONA, INC.  
1200 N. EL DORADO PLACE H-820B  
TUCSON, AZ 85715  
ATTN: ERIN HARRIS, PE  
REGISTRANT NO: 42751  
PHONE: (520) 425-3795  
EMAIL: ERIN@STARCONSULTINGAZ.COM

**LANDSCAPE ARCHITECT:**  
GRS LANDSCAPE ARCHITECTS, INC.  
11047 N. CLOUD VIEW PLACE  
TUCSON, AZ 85737  
ATTN: GREGORY SHINN  
REGISTRANT NO: 22405  
PHONE: (520) 877-8037  
CELL: (520) 909-4678  
EMAIL: GREGS@GRSLANDSCAPEARCHITECTS.COM

**LAND SURVEYOR:**  
SURVEY INNOVATION GROUP, INC.  
7301 EAST EVANS ROAD  
SCOTTSDALE, AZ 85260  
ATTN: JASON A. SEGNERI  
REGISTRATION NO: 35833  
PHONE: (480) 922-0780  
FAX: (480) 922-0781  
INTERNET: WWW.SIGSURVEYAZ.COM

**BASIS OF BEARING:** THE BASIS OF BEARINGS FOR THIS PROJECT IS TRUE NORTH FROM GPS OBSERVATIONS, FROM WHICH THE SURVEYOR DERIVED A BEARING OF N 89°18'43" W FOR THE NORTH LINE OF THE NORTHWEST QUARTER. LEICA 1230 GPS SYSTEM AND 1205 REFLECTORLESS TOTAL STATION WERE USED FOR THE FIELD WORK. THE BEARING OF SAID LINE IS N 89°18'43" W.

**BASIS OF ELEVATION:** THE BASIS OF ELEVATION FOR THIS PROJECT IS NAVD88 ON THE BRASS CAP SECTION CORNER IN A HANDWELL IN THE INTERSECTION OF ORANGE GROVE ROAD AND THORNYDALE, PER PDDOT. THE ELEVATION OF SAID BENCHMARK IS 2219.67 FEET.

**SHEET INDEX**

- SHEET 1: COVER SHEET
- SHEET 2: GENERAL NOTES
- SHEET 3: SITE PLAN
- SHEET 4: GRADING & DRAINAGE
- SHEET 5: SITE CIVIL DETAILS
- SHEET 6: UTILITY PLAN
- SHEET 7: LANDSCAPE PLAN
- SHEET 8: IRRIGATION PLAN
- SHEET 9: LANDSCAPE CONSTRUCTION DETAILS

**ESTIMATE OF EARTHWORK**

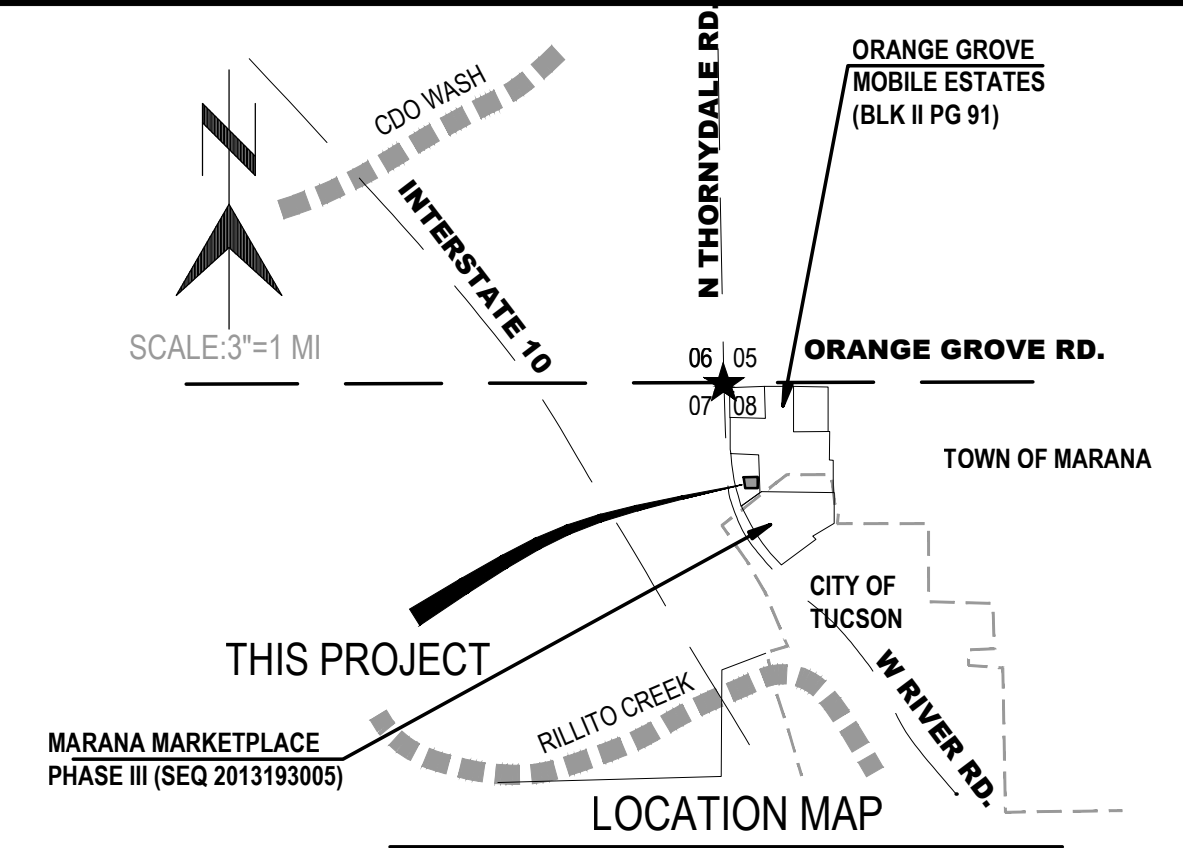
ESTIMATED CUT: 50 CY  
ESTIMATED FILL: 50 CY  
ESTIMATE PROVIDED FOR PERMITTING PURPOSES ONLY - NOT FOR BIDDING OR ANY OTHER CONSTRUCTION PURPOSE. CONTRACTOR TO VERIFY.



# DEVELOPMENT PLAN PACKAGE for POPEYES' LOUISIANA KITCHEN

## 3814 W RIVER ROAD

### a part of MARANA MARKET PLACE PHASE III



SECTION 8,  
T13S, R13E, G&SRM,  
TOWN OF MARANA,  
PIMA COUNTY, ARIZONA  
LATITUDE: 32°19'15"  
LONGITUDE: -111°02'43"

**LEGEND:**

- PROPERTY BOUNDARY LINE
- PROPOSED CONCRETE SIDEWALK
- DRAINAGE SWALE FLOWLINE
- PROPOSED CONCRETE CURB
- EXISTING ELECTRIC LINE
- EXISTING GAS LINE
- EXISTING SEWER LINE
- EXISTING WATER LINE
- PROPOSED ELECTRIC LINE
- PROPOSED GAS LINE
- PROPOSED SEWER LINE
- PROPOSED WATER LINE
- CENTERLINE OF EXISTING PUBLIC RIGHT-OF-WAY
- EXISTING IMPROVEMENTS
- FINISHED PAVEMENT GRADE
- FINISHED SIDEWALK GRADE
- FINISHED GRADE
- EXISTING PAVEMENT GRADE
- BENCHMARK (SHOWN IN LOCATION MAP)
- SIGN
- PROPOSED WALL
- CENTRAL ANGLE
- SET A NAIL AND A 1 1/2" ALUMINUM DISK STAMPED RLS 12122
- SET A 3/4" BRASS TAG STAMPED RLS 12122 SET WITH EPOXY
- FND\_CONTROL MONUMENT AS DESCRIBED

**LEGAL DESCRIPTION**

THE LAND REFERRED TO HEREIN IS SITUATED IN THE TOWN OF MARANA, COUNTY OF PIMA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:  
ORANGE GROVE MOBILE ESTATES AMENDED LOT 1 SITUATED IN A PORTION OF THE SW 1/4 OF THE NW 1/4 OF SECTION 8, TOWNSHIP 13 SOUTH, RANGE 13 EAST, G&SRM.

**KEYNOTES:**

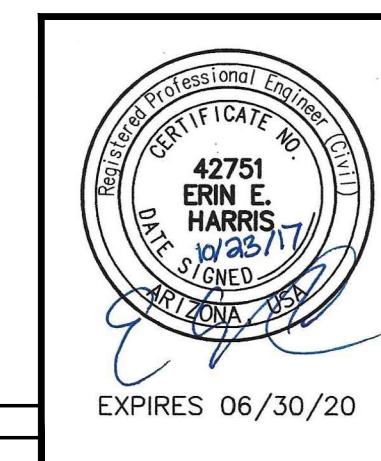
1. 2" TRIM, TACK AND JOIN NEW TO EXISTING PAVEMENT
2. CONTRACTOR TO VERIFY INVERT PRIOR TO START OF CONSTRUCTION
3. VERTICAL CURB (6" REVEAL) TYPE 2 PER PAG SD 209 (TYPICAL)
4. CONCRETE SIDEWALK PER PAG SD 200
5. ALL PRIVATE PROPERTY SIDEWALK TO MEET SLOPE REQUIREMENTS PER 2012 IBC SECTION 1104 AND 2009 ICC A117.1 SECTION 403
6. DRAIN ROOF SCUPPER TO EP- DUMPED RIPRAP SPLASH PAD D50-3" Th=12" W/ F.F. TO 2LF 6"x12" CONCRETE HEADER PER PAG SD 213 W/ 2" TRANSITION TO VERTICAL CURB
7. AREA GRADED 3% MINIMUM TO TC, AWAY FROM STRUCTURES, EQUIPMENT OR S/W
8. POST BARRICADE PER PAG SD 106
9. CONCRETE CURB NEW TO EXISTING CONNECTION PER PAG SD 211 - MATCH EXISTING PAVEMENT GRADE
10. 5LF 6" BY 12" CONCRETE HEADER PER PAG SD 213 W/ 3" TRANSITION TO VERTICAL
11. PROPOSED TYPE 1 CURB ACCESS RAMP PER TOWN OF MARANA SD 600-1
12. 5' CROSS-WALK: MAX CROSS-SLOPE 2%
13. DEPRESS LANDSCAPE AREAS BY 6"-9" TO PROVIDE WATER HARVESTING
14. 5LF 6" BY 12" CONCRETE HEADER PER PAG SD 213 W/ 6" TRANSITION TO VERTICAL
15. HANDRAIL PER PAG SD 105 OR APPROVED EQUAL - INSTALL AT NORTH SIDE OF SIDEWALK W/ 5' CLEAR SIDEWALK WIDTH

**APPROVALS:**

BY: \_\_\_\_\_ P.E. \_\_\_\_\_ DATE \_\_\_\_\_  
MARANA TOWN ENGINEER/DEVELOPMENT ENGINEER

BY: \_\_\_\_\_ DATE \_\_\_\_\_  
MARANA PLANNING DIRECTOR

BY: \_\_\_\_\_ DATE \_\_\_\_\_  
NORTHWEST FIRE DISTRICT



REF: DP13-0072 PCZ-9684 DPR-10032 LPR-10033 PRV1709-001	<p><b>POPEYES' LOUISIANA KITCHEN</b> <b>3814 W RIVER ROAD</b> <b>DEVELOPMENT PLAN PACKAGE</b> A PORTION OF ORANGE GROVE MOBILE ESTATES AMENDED LOT 1 SITUATED IN SECTION 8, TOWNSHIP 13 SOUTH, RANGE 13 EAST, OF THE GILA AND SALT RIVER MERIDIAN, TOWN OF MARANA, PIMA COUNTY, ARIZONA</p>	1 OF 9
<p>1200 N. EL DORADO PLACE SUITE H-820B TUCSON, AZ 85715 (520) 425-3795 PROJECT NO. 17006</p>	<p>DRWN BY: RAH DSGN BY: EEH CHKD BY: EEH</p>	SCALE: N/A PLAN NO. <b>DPP1707-001</b>

NO.	DATE	REVISION	BY	CHKD.	APPR.



**PAVING AND GRADING NOTES**

- ALL WORK SHALL CONFORM TO TITLE 19, STANDARDS FOR GRADING AND RELATED SITE WORK, OF THE TOWN OF MARANA LAND DEVELOPMENT CODE.
- A REPORT OF SOILS INVESTIGATION INCLUDING RECOMMENDATIONS FOR GRADING PROCEDURES HAS BEEN PREPARED BY PATTISON ENGINEERING PROJECT NUMBER 17-087. EARTHWORK SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED IN SAID REPORT.
- ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE MARANA TOWN ENGINEER PRIOR TO CONSTRUCTION.
- ALL AGGREGATE BASE COURSE SHALL CONFORM TO SECTION 303 OF THE PIMA ASSOCIATION OF GOVERNMENTS (PAG) STANDARD SPECIFICATIONS AND STANDARD DETAILS FOR PUBLIC IMPROVEMENTS (PAG SSP) LATEST EDITION.
- COMPACTION IN ALL AREAS SHALL BE TO A MINIMUM OF 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99/ASTM D698A UNLESS OTHERWISE SPECIFIED. THOSE AREAS TO RECEIVE FILL SHALL BE SCARIFIED TO A DEPTH OF EIGHT (8) INCHES AND BROUGHT TO PROPER MOISTURE CONTENT AND COMPACTED TO THE ABOVE DENSITY. THE SOURCE OF FILL MATERIAL SHALL BE APPROVED BY THE OWNER PRIOR TO PLACEMENT. ALL TESTING SHALL BE DONE AT THE OWNER'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE, MAINTENANCE, REPAIR OR REPLACEMENT OF EXISTING IMPROVEMENTS IN THE WORK AREA WHICH HAVE BEEN REMOVED OR DAMAGED IN THE COURSE OF CONSTRUCTION. ALL REPAIR OR CLEANUP SHALL BE DONE AT NO COST TO THE TOWN OF MARANA.
- ALL WALLS SHALL BE CONSTRUCTED OF OR PAINTED WITH GRAFFITI RESISTANT MATERIALS.
- ALL SLOPES STEEPER THAN 3:1 WILL BE PROTECTED WITH 6" DIAMETER (MINIMUM) ROCK RIP-RAP OR CONCRETE BANK PROTECTION.
- GRADING BOUNDARIES SHALL BE CLEARLY MARKED, AND ALL WORK WILL BE CONFINED TO THE APPROVED PROJECT DISTURBANCE LIMITS AS SHOWN ON THESE PLANS. NO WORK SHALL TAKE PLACE OUTSIDE OF THE LIMITS SHOWN ON THESE PLANS.
- IF ANY HUMAN REMAINS OR FUNERARY ITEMS ARE DISCOVERED DURING CONSTRUCTION, OR AT ANY TIME, ALL WORK MUST STOP IN THE AREA OF THE REMAINS AND THE REPARATION COORDINATOR AT THE ARIZONA STATE MUSEUM MUST BE CONTACTED IMMEDIATELY, PURSUANT TO A.R.S. §41-865.
- THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL OBTAIN A TOWN OF MARANA BUSINESS LICENSE PRIOR TO COMMENCEMENT OF ANY WORK.
- THE CONTRACTOR SHALL OBTAIN A TOWN OF MARANA RIGHT OF WAY PERMIT AT THEIR COST AND SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH THE TOWN OF MARANA RIGHT OF WAY INSPECTOR PRIOR TO COMMENCEMENT OF ANY WORK WITHIN THE PUBLIC RIGHT OF WAY.
- THE CONTRACTOR SHALL SUBMIT TO THE TOWN OF MARANA A TRAFFIC CONTROL PLAN FOR EACH PHASE OF THE WORK A MINIMUM OF SEVEN (7) WORKING DAYS PRIOR TO COMMENCEMENT OF ANY WORK WITHIN THE PUBLIC RIGHT OF WAY. THE CONTRACTOR SHALL HAVE ON SITE, AT ALL TIMES, TRAFFIC CONTROL PLANS ACCEPTED (STAMPED) BY THE TOWN OF MARANA FOR ALL WORK BEING PERFORMED WITHIN THE PUBLIC RIGHT OF WAY.
- TRACER WIRE IS REQUIRED FOR ALL IRRIGATION SLEEVES.
- UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC. SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S. §28-650. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENT AGENCIES.
- IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE ENGINEER OF RECORD SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR TO EXHIBIT EXTREME CAUTION WHEN EXCAVATING TO AVOID DAMAGING EXISTING UTILITY LINES IN AND AROUND THE AREA OF WORK. UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE AND NOT COMPLETE BUT ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME THIS PLAN WAS DESIGNED.
- PROJECT EARTHWORK (UNADJUSTED)(APPROXIMATE):
 

TOTAL CUT	TOTAL FILL
20 CY	50CY
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CALCULATE HIS OWN EARTHWORK QUANTITIES AND SUBMIT HIS BID THEREON. EARTHWORK QUANTITIES SHOWN HEREON ARE ESTIMATED FOR PERMITTING PURPOSES ONLY AND ARE NOT TO BE USED FOR BIDDING OR PAYMENT QUANTITIES.
- THE CONTRACTOR SHALL VERIFY ALL QUANTITIES, INCLUDING EXCAVATION, BORROW EMBANKMENT, SHRINK OR SWELL, GROUND COMPACTION, HAUL AND ANY OTHER ITEMS AFFECTING THE BID TO COMPLETE THE GRADING TO THE ELEVATIONS SHOWN ON THESE PLANS AND TO BASE THE BID SOLELY UPON HIS OWN CALCULATED QUANTITIES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE OWNER/DEVELOPER PRIOR TO CONSTRUCTION OF ANY MAJOR DISCREPANCIES ON THE PLANS. ALL GRADE ADJUSTMENTS SHALL BE APPROVED IN WRITING BY THE OWNER PRIOR TO MAKING ANY CHANGES.
- IF GRADING CONSTRUCTION IS EXPECTED TO LAST LONGER THAN THE EXPIRATION DATE OF THE GRADING PERMIT, CONTACT DSD TO RENEW/EXTEND THE GRADING PERMIT. IF FINAL GRADING INSPECTION HAS NOT BEEN COMPLETED BEFORE THE GRADING PERMIT EXPIRES, AND THE PERMIT HAS NOT BEEN RENEWED, ADDITIONAL FEES AND REVIEWS MAY BE REQUIRED.
- THE PERMITTEE SHALL NOTIFY THE TOWN OF MARANA WHEN THE GRADING OPERATION IS READY FOR FINAL GRADING INSPECTION. FINAL GRADING APPROVAL SHALL NOT BE GIVEN UNTIL ALL WORK, INCLUDING INSTALLATION OF ALL DRAINAGE IMPROVEMENTS, UTILITY TRENCHES ARE BACKFILLED, PRIVATE PAVING AND CURB, PERMANENT PROTECTIVE DEVICES, ALL EROSION CONTROL MEASURES HAVE BEEN COMPLETED, AND ALL CONDITIONS OF PERMITS ARE COMPLETED.
- A REGISTERED ENGINEER MUST CERTIFY THAT THIS PROJECT WAS CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS PRIOR TO A REQUEST FOR FINAL INSPECTION/CERTIFICATION OF OCCUPANCY, RELEASE OF ASSURANCES OR MODULAR PERMITS.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND CYPRESS CIVIL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR CYPRESS CIVIL.
- IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING CYPRESS CIVIL AT 520.991.5213.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE STANDARDS.
- PARKING AREA PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION (MUTCD). THE PAINT SHALL BE WHITE UNLESS OTHERWISE INDICATED OR AS REQUIRED BY THE MUTCD.
- ALL ELEVATIONS ARE AT FINISH SURFACE OF PROPOSED ASPHALT. ADD 0.5' FOR THE ADJACENT TOP OF CURB/CONCRETE ELEVATION UNLESS OTHERWISE SHOWN.
- CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLE AND CLEAN-OUT RING AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RING AND COVERS TO THE NEW FINISHED GRADE.

- CUT AND FILL SLOPES SHALL BE TRIMMED TO THE FINISH GRADE TO PRODUCE A SMOOTH SURF AC AND UNIFORM CROSS-SECTION. THE SLOPE OF THE EXCAVATIONS OR EMBANKMENTS SHALL BE SHAPED AND TRIMMED AS SHOWN ON THE PLANS AND LEFT IN A NEAT AND ORDERLY CONDITION. ALL STONES, ROOTS, OR OTHER WASTE MATTER EXPOSED ON EXCAVATION OR EMBANKMENT SLOPES SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM THE CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FULLY COMPLY WITH THE ARIZONA POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN PREPARED FOR THIS PROJECT.
- RIP RAP MATERIAL SHALL CONFORM TO PC/COT STANDARD SPECIFICATION SECTION 913. RIP RAP SHALL BE HAND PLACED RIP RAP PER PC/COT STANDARD SPECIFICATION SECTION 913-2.01 AND SHALL BE WELL GRADED, VARYING IN SIZE FROM 4 TO 8 INCHES (D50=6", T=2D50). THE RIP RAP LAYER SHALL BE 12 INCHES MINIMUM THICKNESS.
- FILTER FABRIC UNDER RIP RAP SHALL CONFORM TO PC/COT STANDARD SPECIFICATION SECTION 913-2.05 AND 1014-4.03 FOR HIGH SURVIVABILITY GEOTEXTILE MATERIAL INERT TO COMMONLY ENCOUNTERED CHEMICALS.

**DRAINAGE NOTES:**

- THE DEVELOPER, ANY SUCCESSORS OR ASSIGNS, WILL HOLD THE TOWN OF MARANA, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- THIS PROJECT IS NOT AFFECTED BY FLOODPLAIN REGULATIONS.
- A FLOODPLAIN USE PERMIT IS NOT REQUIRED FOR THE GRADING AND CONSTRUCTION OF THE INFRASTRUCTURE.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.
- AS SHOWN ON FIRM PANEL 04019C1660L, DATED JUNE 16, 2011, THE SITE IS WITHIN ZONE X (SHADED). THE OWNER SHALL BE SOLELY RESPONSIBLE FOR OPERATION, MAINTENANCE AND LIABILITY FOR DRAINAGE STRUCTURES AND DETENTION BASINS. THE OWNER SHALL HAVE AN ARIZONA REGISTERED PROFESSIONAL ENGINEER PREPARE A CERTIFIED INSPECTION REPORT FOR THE DRAINAGE AND DETENTION/RETENTION FACILITIES AT LEAST ONCE EACH YEAR, AND SAID REPORTS SHALL BE ON FILE WITH THE OWNER FOR REVIEW BY TOWN STAFF. UPON WRITTEN REQUEST, TOWN STAFF MAY PERIODICALLY INSPECT THE DRAINAGE FACILITIES TO VERIFY THAT SCHEDULED AND UNSCHEDULED MAINTENANCE IS BEING PERFORMED ADEQUATELY. THE OWNER AGREES TO REIMBURSE THE TOWN FOR COSTS DIRECTLY ASSOCIATED WITH MAINTAINING THE DRAINAGE FACILITIES SHOULD THE TOWN REASONABLY FIND THE OWNER DEFICIENT IN HIS OBLIGATION TO ADEQUATELY MAINTAIN HIS DRAINAGE FACILITIES.

**STREETS AND ROADS NOTES:**

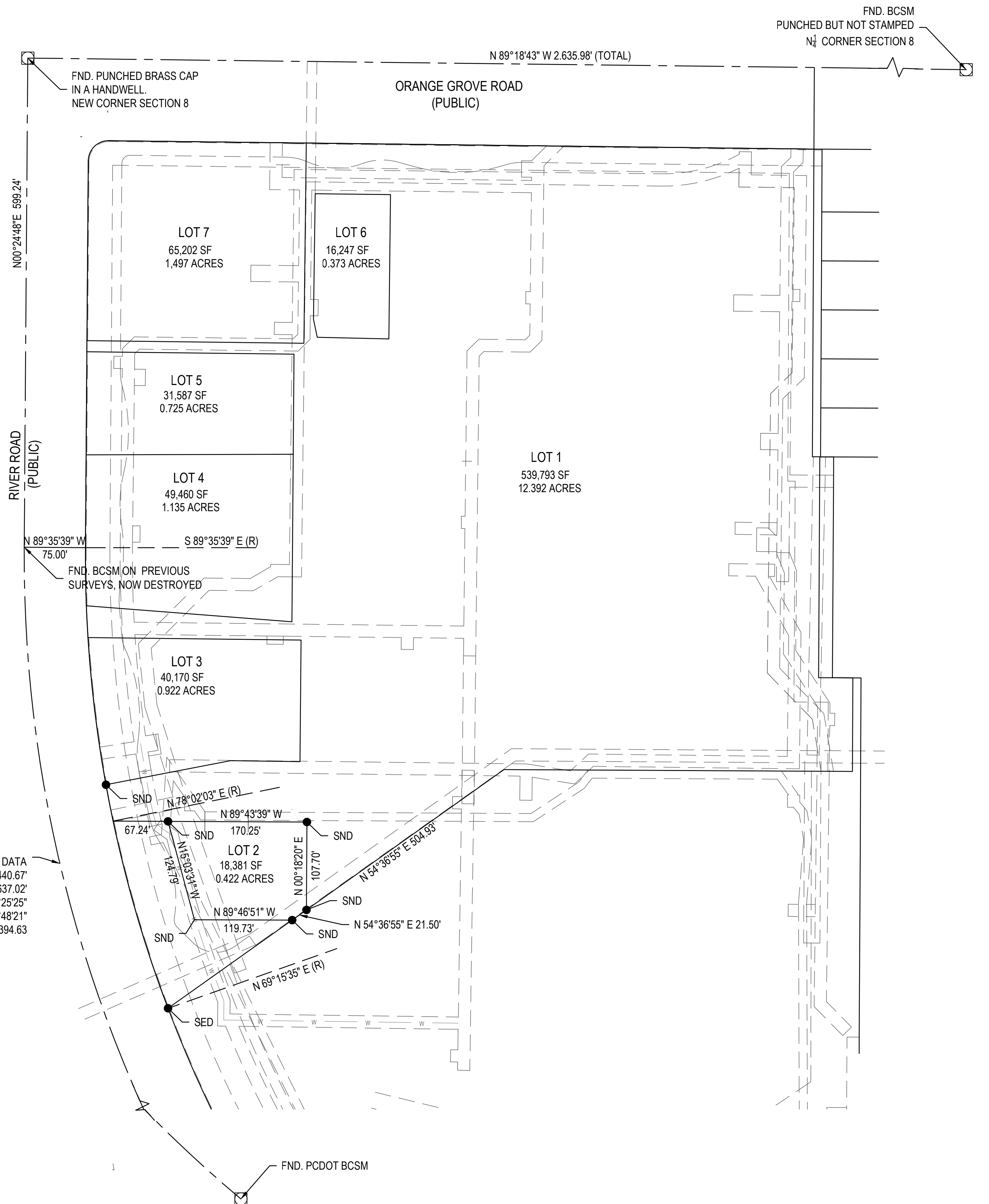
- OBJECTS AND MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES SHALL BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED 30" AND 72" ABOVE FINISHED GRADE OF THE ROADWAY SURFACE AND SHALL CONFORM TO THE TOWN OF MARANA SUBDIVISION STREET STANDARDS.
- TOTAL MILES OF NEW PUBLIC STREETS IS 0 MILES.
- TOTAL MILES OF NEW PRIVATE STREETS IS 0 MILES.
- MAXIMUM SPEED ALLOWED IN THE PARKING LOT IS 15 MILES PER HOUR.

**UTILITIES AND WASTEWATER MANAGEMENT NOTES:**

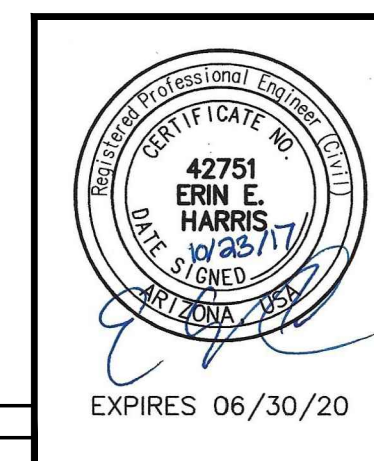
- ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- THE ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH AN APPROVED OPERATION AND MAINTENANCE PLAN, IF REQUIRED. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT.
- A PROPERTY OWNERS' ASSOCIATION WILL BE FORMED TO ACCEPT RESPONSIBILITY AND LIABILITY OF CONSTRUCTION, MAINTENANCE, OPERATION, AND CONTROL OF ALL PRIVATE SEWERS. BACKWATER VALVE IS NOT REQUIRED FOR THIS PROJECT.
- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF PIMA COUNTY ORDINANCE NO. 1991-140, OR AS AMENDED.
- THIS PROJECT LIES WITHIN THE PLANNED WATER SERVICE AREA OF THE CITY OF TUCSON WATER DEPARTMENT WHICH IS DESIGNATED BY THE DEPARTMENT OF WATER RESOURCES AS HAVING AN ASSURED WATER SUPPLY.

**GRADING PLAN NOTES:**

- CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. CALL BLUE STAKE (1-800-782-5348) TWO FULL WORKING DAYS PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL GIVE FORTY-EIGHT (48) HOURS NOTICE WHEN HE SHALL REQUIRE THE SERVICES OF THE ENGINEER OF ANY OTHER PERSON PROPERLY AUTHORIZED FOR SUCH PURPOSE FOR LAYING OUT ANY PORTION OF THE WORK. HE SHALL ALSO DIG ALL STAKE HOLES NECESSARY TO GIVE LINE AND LEVELS AND SHALL PROVIDE ASSISTANCE CALLED FOR BY THE ENGINEER OR HIS ASSISTANTS UPON ANY PART OF THE WORK WHENEVER SO REQUESTED.
- THE CONTRACTOR SHALL PRESERVE ALL STAKES SET FOR THE LINES, LEVELS OR MEASUREMENTS OF THE WORK IN THEIR PROPER PLACES UNTIL AUTHORIZED TO REMOVE THEM BY THE ENGINEERS. ANY EXPENSE INCURRED IN REPLACING ANY STAKES WHICH THE CONTRACTOR OR HIS SUBORDINATES MAY HAVE FAILED TO PRESERVE SHALL BE CHARGED TO THE CONTRACTOR.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND SUPPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
- ALL ORGANIC MATERIAL SHALL BE REMOVED WITHIN THE CLEARING LIMITS FOR NECESSARY GRADING TO A DEPTH OF SIX (6) INCHES AND HAULED FROM THE SITE PRIOR TO GRADING.

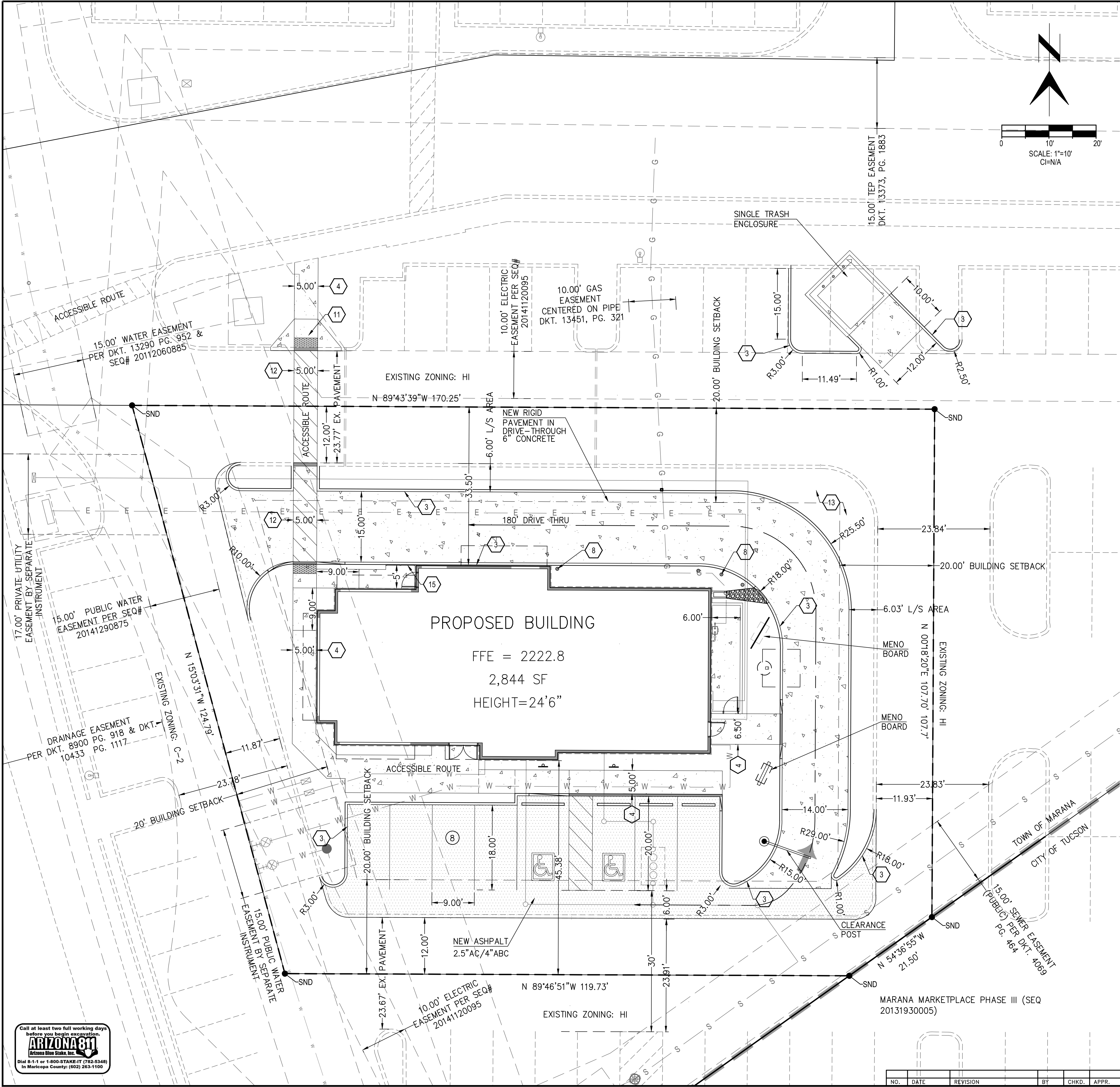
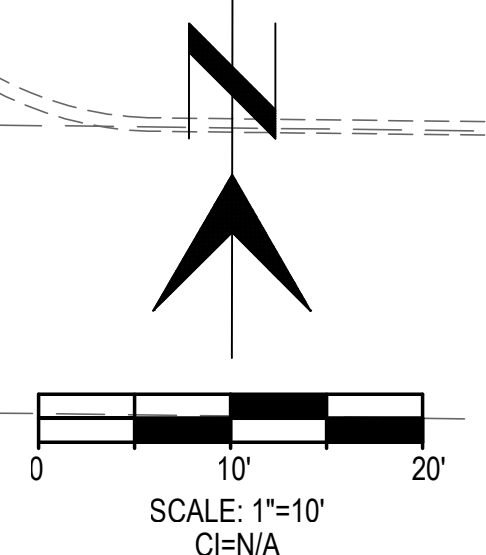


NO.	DATE	REVISION	BY	CHKD.	APPR.



REF: DP13-0072 PCZ-9684 DPR-10032 LPR-10033 PRV1709-001	<b>POPEYES' LOUISIANA KITCHEN</b> 3814 W RIVER ROAD <b>DEVELOPMENT PLAN PACKAGE</b> A PORTION OF ORANGE GROVE MOBILE ESTATES AMENDED LOT 1 SITUATED IN SECTION 8, TOWNSHIP 13 SOUTH, RANGE 13 EAST, OF THE GILA AND SALT RIVER MERIDIAN, TOWN OF MARANA, PIMA COUNTY, ARIZONA		2 OF 9
	1200 N. EL DORADO PLACE SUITE H-820B TUCSON, AZ 85715 (520) 425-3795 PROJECT NO. 17006	DRWN BY: RAH DSGN BY: EEH CHKD BY: EEH	





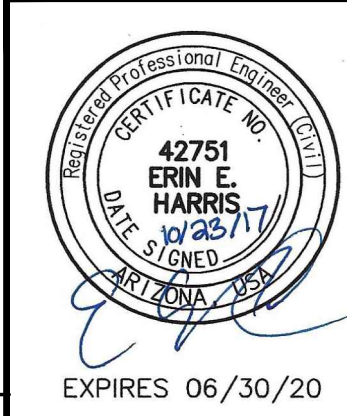
**KEYNOTES:**

- 3 VERTICAL CURB (6" REVEAL) TYPE 2 PER PAG SD 209 (TYPICAL)
- 4 CONCRETE SIDEWALK PER PAG SD 200
- 8 POST BARRICADE PER PAG SD 106
- 11 PROPOSED TYPE 1 CURB ACCESS RAMP PER TOWN OF MARANA SD 600-1
- 12 5' CROSS-WALK: MAX CROSS-SLOPE 2%
- 13 DEPRESS LANDSCAPE AREAS BY 6"-9" TO PROVIDE WATER HARVESTING
- 15 HANDRAIL PER PAG SD 105 OR APPROVED EQUAL - INSTALL AT NORTH SIDE OF SIDEWALK W/ 5' CLEAR SIDEWALK WIDTH

ADA GRADING: MAXIMUM 2% IN ANY DIRECTION FOR ALL ACCESSIBLE PEDESTRIAN PATHS AND HC PARKING SPACES - SEE SLOPES ON SHEET 4, GRADING PLAN.

ALL PUBLIC R/W IMPROVEMENTS AND UTILITIES ARE TO REMAIN UNLESS OTHERWISE NOTED ON THIS PLAN.

**SITE PLAN**



REF: DP13-0072  
PCZ-9684  
DPR-10032  
LPR-10033  
PRV1709-001

**POPEYES' LOUISIANA KITCHEN**  
**3814 W RIVER ROAD**  
**DEVELOPMENT PLAN PACKAGE**  
 A PORTION OF ORANGE GROVE MOBILE ESTATES AMENDED LOT 1  
 SITUATED IN SECTION 8, TOWNSHIP 13 SOUTH, RANGE 13 EAST,  
 OF THE GILA AND SALT RIVER MERIDIAN, TOWN OF MARANA, PIMA COUNTY, ARIZONA

1200 N. EL DORADO PLACE  
 SUITE H-820B  
 TUCSON, AZ 85715  
 (520) 425-3795  
 PROJECT NO. 17006

DRWN BY: RAH  
 DESGN BY: EEH  
 CHKD BY: EEH

SCALE: 1"=10'

PLAN NO. **DPP1707-001**

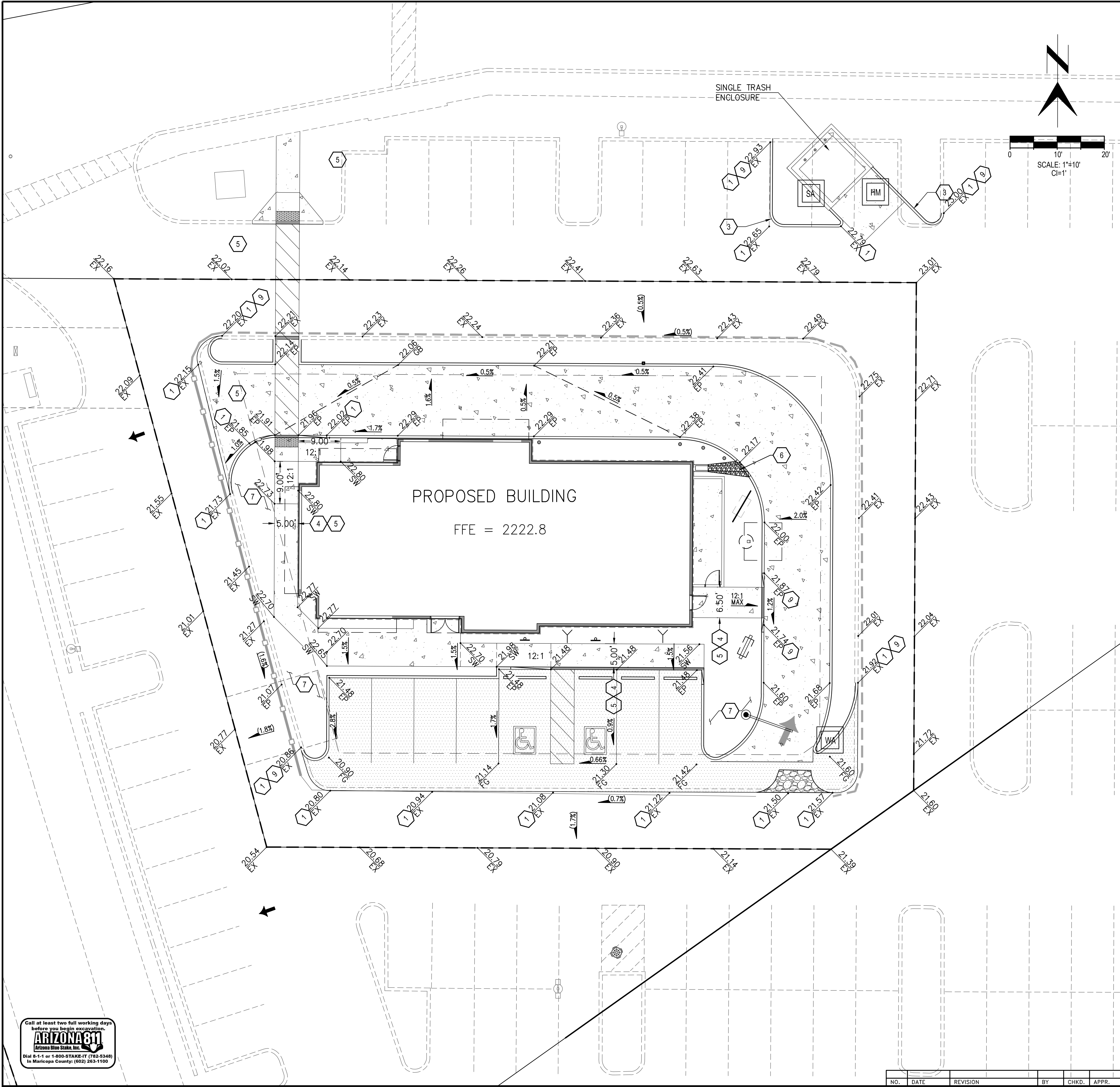
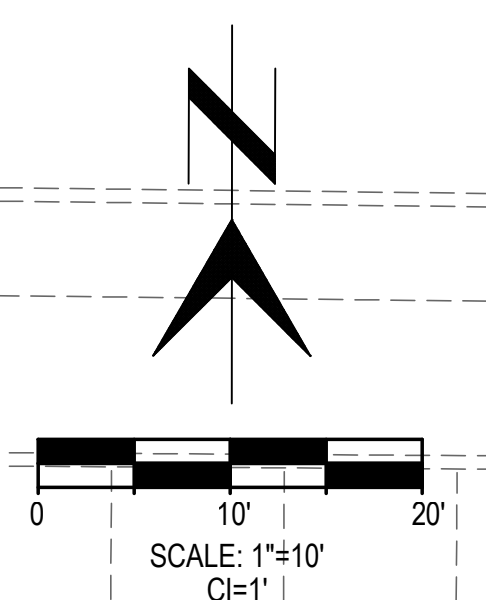
NO.	DATE	REVISION	BY	CHKD.	APPR.



ALL IMPROVEMENTS SHALL BE COMPLETED IN COMPLIANCE WITH AND ACCORDING TO THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT: PATTISON ENGINEERING NUMBER 17-087. PARKING AREAS AND ACCESS: 2.5" AC/4"ABC DRIVE-THROUGH LANE AND TRASH ENCLOSURE APPROACH: 6" PORTLAND CEMENT CONCRETE

ALL EXISTING IMPROVEMENTS TO REMAIN UNLESS OTHERWISE SHOWN ON THIS PLAN. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND TIE-IN GRADES PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO USE CAUTION TO NOT DISTURB EXISTING IMPROVEMENTS UNLESS OTHERWISE SHOWN ON THIS PLAN.

CONTRACTOR TO FILE NOI PRIOR TO START OF CONSTRUCTION. ALL OTHER REQUIREMENTS OF THE MARANA MARKETPLACE PHASE 3 SWPPP PLAN ARE APPLICABLE AND A PART OF THIS PLAN SET. ADDITIONAL PROTECTION MEASURES ARE SHOWN HEREON.



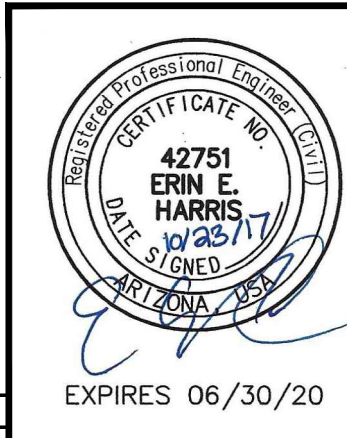
**SWPPP LEGEND**

- ADDITIONAL SWPPP MEASURES TO AMEND EXISTING SWPPP (DP13-0072)
- TEMPORARY STABILIZED CONSTRUCTION EXIT
  - TEMPORARY HAZARDOUS MATERIALS STORAGE AREA
  - TEMPORARY VEHICLE MAINTENANCE AND CONCRETE WASHOUT AREA
  - BUILDING MATERIAL STAGING AREA
  - TEMPORARY EROSION CONTROL WATTLES
  - PERIMETER SILT FENCING
  - SITE BOUNDARY
  - WATERSHED FLOW DIRECTION

**KEYNOTES:**

- 1 2' TRIM, TACK AND JOIN NEW TO EXISTING PAVEMENT
- 3 VERTICAL CURB (6" REVEAL) TYPE 2 PER PAG SD 209 (TYPICAL)
- 4 CONCRETE SIDEWALK PER PAG SD 200
- 5 ALL PRIVATE PROPERTY SIDEWALK TO MEET SLOPE REQUIREMENTS PER 2012 IBC SECTION 1104 AND 2009 ICC A117.1 SECTION 403
- 6 DRAIN ROOF SCUPPER TO EP; DUMPED RIPRAP SPLASH PAD D50=3" Th=12" W/ F.F. TO 2LF 6"x12" CONCRETE HEADER PER PAG SD 213 W/ 2' TRANSITION TO VERTICAL CURB
- 7 AREA GRADED 3% MINIMUM TO TC, AWAY FROM STRUCTURES, EQUIPMENT OR SW
- 8 POST BARRICADE PER PAG SD 106
- 9 CONCRETE CURB NEW TO EXISTING CONNECTION PER PAG SD 211 - MATCH EXISTING PAVEMENT GRADE
- 11 PROPOSED TYPE 1 CURB ACCESS RAMP PER TOWN OF MARANA SD 600-1
- 12 5' CROSS-WALK: MAX CROSS-SLOPE 2%
- 13 DEPRESS LANDSCAPE AREAS BY 6"-9" TO PROVIDE WATER HARVESTING

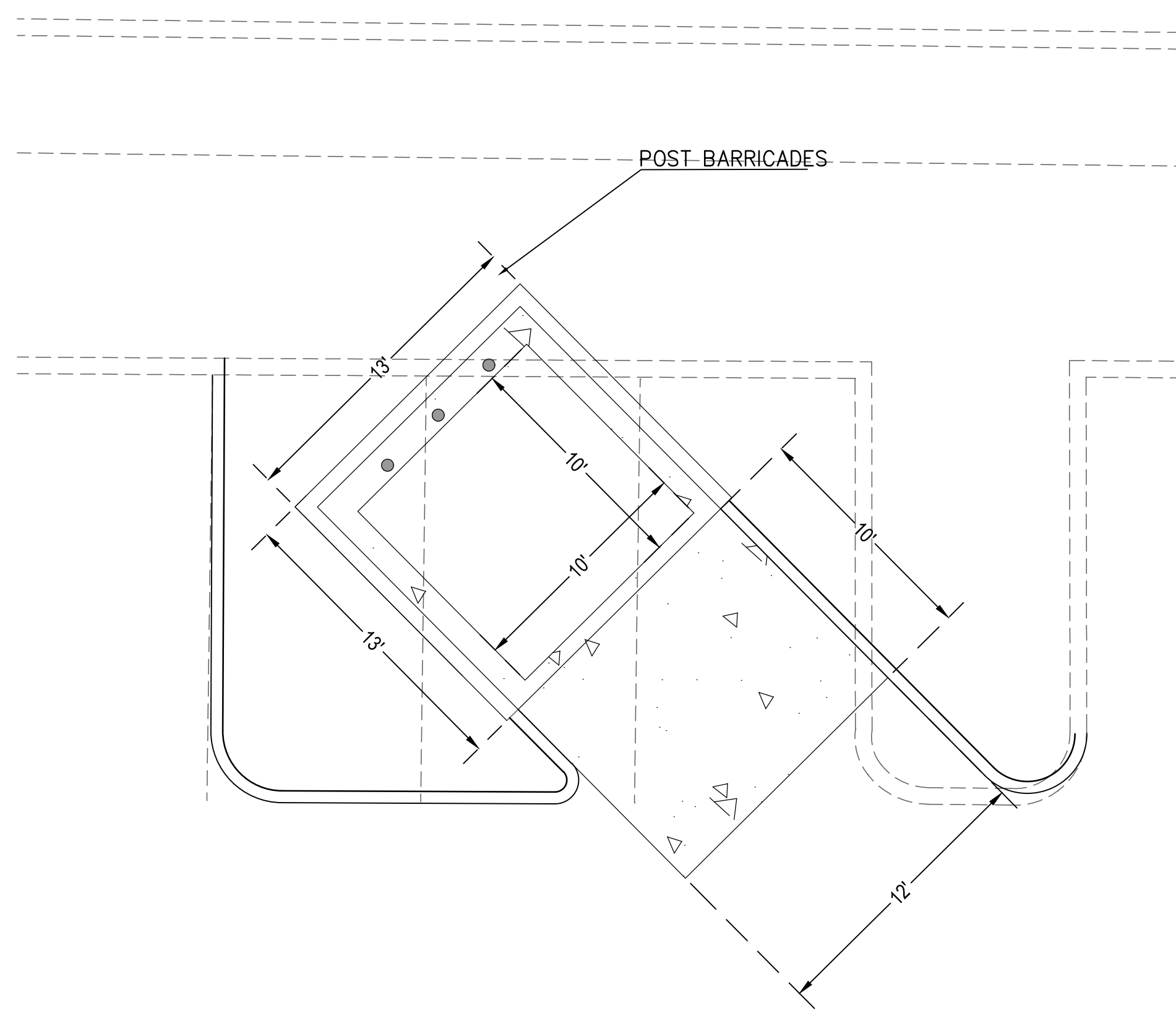
**DRAINAGE/GRADING/SWPPP PLAN**



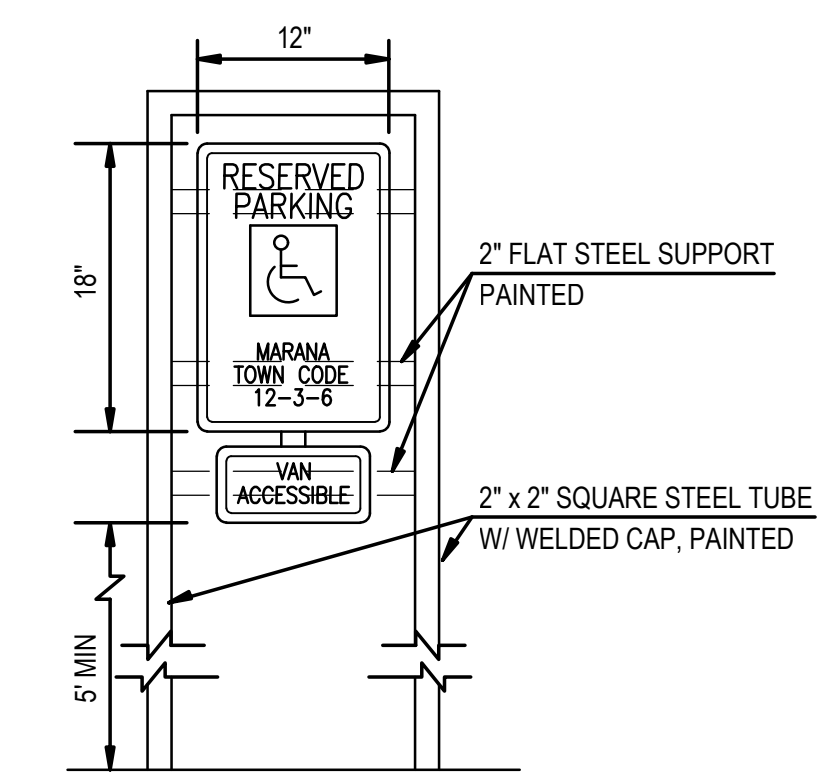
REF: DP13-0072 PCZ-9684 DPR-10032 LPR-10033 PRV1709-001	<b>POPEYES' LOUISIANA KITCHEN</b> <b>3814 W RIVER ROAD</b> <b>DEVELOPMENT PLAN PACKAGE</b> A PORTION OF ORANGE GROVE MOBILE ESTATES AMENDED LOT 1 SITUATED IN SECTION 8, TOWNSHIP 13 SOUTH, RANGE 13 EAST, OF THE GILA AND SALT RIVER MERIDIAN, TOWN OF MARANA, PIMA COUNTY, ARIZONA		4 OF 9
	1200 N. EL DORADO PLACE SUITE H-820B TUCSON, AZ 85715 (520) 425-3795 PROJECT NO. 17006	DRAWN BY: RAH DESGN BY: EEH CHKD BY: EEH	

NO.	DATE	REVISION	BY	CHKD.	APPR.

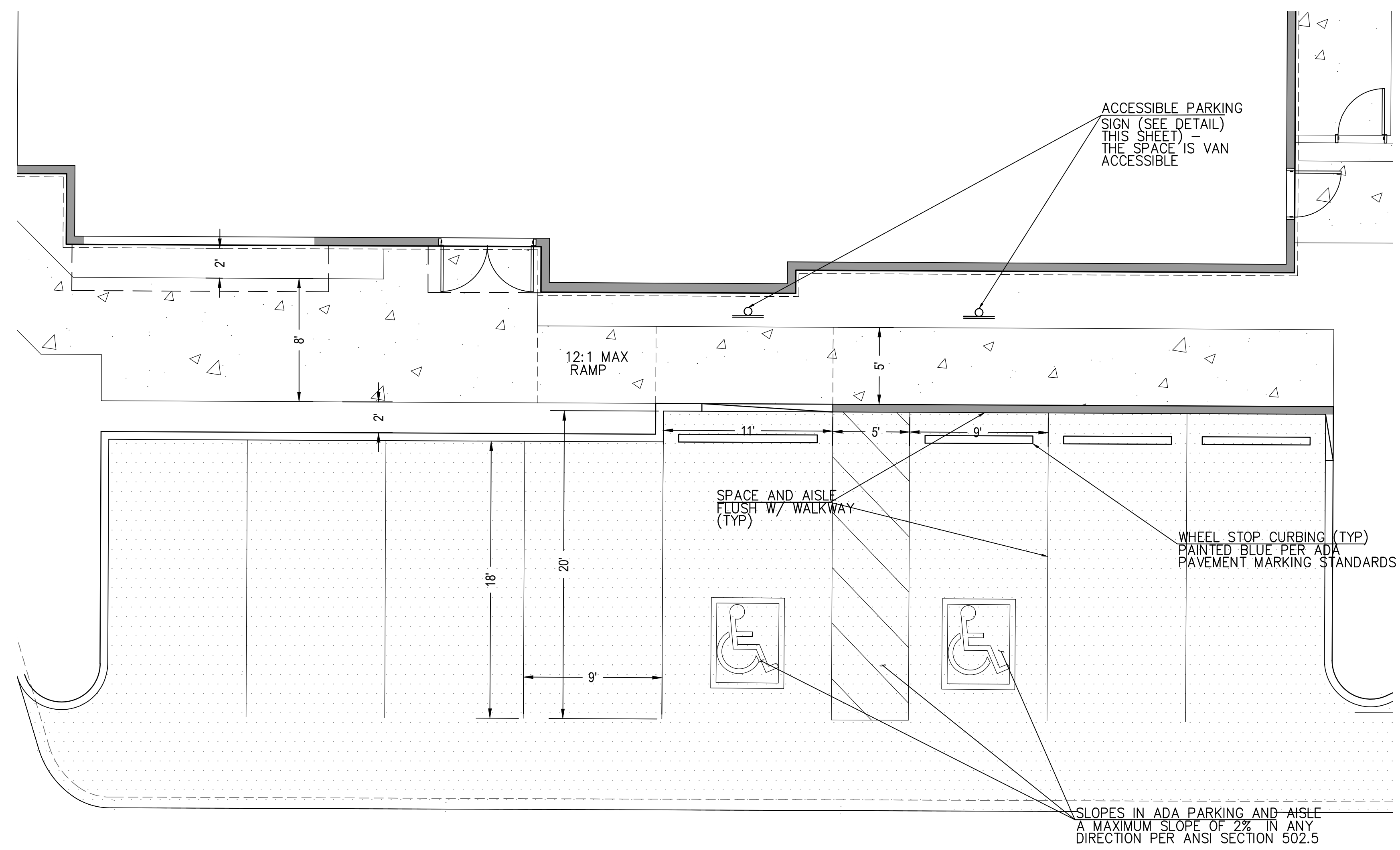




**DUMPSTER ENCLOSURE DETAIL**  
1"=5'



**ACCESSIBLE PARKING SIGN**  
SCALE: NTS



**STANDARD ACCESSIBLE PARKING DETAIL**  
1"=5'

**PDEQ PRIVATE SEWER NOTES:**

1. THE "STANDARD DETAILS FOR PUBLIC IMPROVEMENTS", (2003 EDITION), PUBLISHED JOINTLY BY PIMA COUNTY WASTEWATER AND THE CITY OF TUCSON IS THE APPLICABLE DESIGN AND CONSTRUCTION CRITERIA.
2. THIS PROJECT WILL BE COMPLETED AS ONE PHASE.
3. CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. CALL BLUE STAKE (1-800-782-5348) TWO FULL WORKING DAYS PRIOR TO EXCAVATION.
4. SEWER INVERT AT BUILDINGS IS 3.5' BELOW THE FINISHED FLOOR ELEVATION (FFE), AS SHOWN ON THIS SHEET.
5. MAXIMUM LENGTH BETWEEN CLEANOUTS ON 4" DIAMETER SEWER LINE IS 100 FEET.
6. ALL SEWER LINES SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH PC/COT SSPI SECTION 508.
7. ALL SEWER PIPE SHALL BE GASKETED JOINT PVC (GREEN) PER PC/COT SSPI SECTION 1010-03.05.
8. BEDDING SHALL BE IN ACCORDANCE WITH PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT ENGINEERING DIRECTIVE ENG2008-16 (MODIFIED STANDARD DETAILS 104 AND 105). SHOULD GROUND WATER OR OTHER UNANTICIPATED SOIL CONDITIONS BE ENCOUNTERED, THE BEDDING SHALL BE MODIFIED AS DIRECTED BY THE ENGINEER. COMPACTION AND TESTING OF BACKFILL SHALL BE REQUIRED PER DIRECTIVE ENG 2010-11.
9. A BACKWATER VALVE IS NOT REQUIRED FOR THIS DEVELOPMENT.
10. THIS PROJECT WILL BE CONSTRUCTED AND INSPECTED UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL ENGINEER, REGISTERED IN THE STATE OF ARIZONA.
11. AFTER CONSTRUCTION AND FINAL INSPECTION, A PROFESSIONAL ENGINEER, REGISTERED IN THE STATE OF ARIZONA, WILL PREPARE "AS-BUILT" PLANS AND AN ENGINEER'S CERTIFICATE OF COMPLETION, AND SUBMIT THAT INFORMATION TO PDEQ FOR APPROVAL ALONG WITH ALL CONSTRUCTION TESTING AS REQUIRED IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODE R18-9-E301 (INCLUDING MANHOLE TESTING, SEWER LINE LEAKAGE TESTING, DEFLECTION TESTING AND UNIFORM SLOPE TESTING) IN ORDER TO RECEIVE A DISCHARGE AUTHORIZATION.
12. THIS SEWER IS DESIGNED AT THE MINIMUM SLOPE REQUIRED TO MAINTAIN A TERMINAL RUN VELOCITY OF GREATER THAN 3 FPS. THE CONTRACTOR IS TO USE CAUTION TO MAINTAIN THIS MINIMUM SLOPE REQUIREMENT DURING CONSTRUCTION.
13. EACH SEWER LINE WILL BE COVERED WITH AT LEAST 3' OF BACKFILL MEETING THE REQUIREMENTS OF A.A.C. SUBSECTION R18-9-E301D.2.H.I.

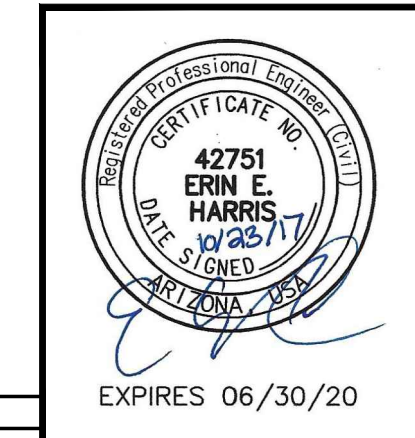
**PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT**

1. ESTIMATED WASTEWATER DISCHARGE IS LESS THAN 37.5 GPM. A 1 1/2" DOMESTIC WATER SERVICE WITH 1 1/2" METER IS PROPOSED TO SERVE THE DEVELOPMENT.
2. ON-SITE SANITARY SEWERS, EXCEPT PUBLIC SEWERS WITHIN PUBLIC SEWER EASEMENTS OR RIGHTS-OF-WAY, WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED AND MAINTAINED ON A PRIVATE BASIS. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT.
3. ALL SANITARY SEWERS WILL BE DESIGNED TO PROVIDE GRAVITY FLOW.
4. ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, AS AMENDED).
5. MAINTENANCE AND OPERATION OF THE PRIVATE SANITARY SEWER TO ITS POINT OF CONNECTION TO THE PUBLIC SANITARY SEWER IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
6. A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.
7. ALL LANDSCAPING WITHIN THE PUBLIC RIGHT-OF-WAY NEAR PUBLIC SEWER SHOWN HEREON SHALL BE IN ACCORDANCE WITH THE PLANTING GUIDELINES CONTAINED WITHIN THE CURRENT ADOPTED REGIONAL WASTEWATER RECLAMATION DEPARTMENT DESIGN STANDARDS.



**DETAIL SHEET**

ALL PUBLIC R/W IMPROVEMENTS AND UTILITIES ARE TO REMAIN UNLESS OTHERWISE NOTED ON THIS PLAN.



REF. DP13-0072  
PCZ-9684  
DPR-10032  
LPR-10033  
PRV1709-001

**POPEYES' LOUISIANA KITCHEN**  
3814 W RIVER ROAD  
**DEVELOPMENT PLAN PACKAGE**  
A PORTION OF ORANGE GROVE MOBILE ESTATES AMENDED LOT 1  
SITUATED IN SECTION 8, TOWNSHIP 13 SOUTH, RANGE 13 EAST,  
OF THE GILA AND SALT RIVER MERIDIAN, TOWN OF MARANA, PIMA COUNTY, ARIZONA

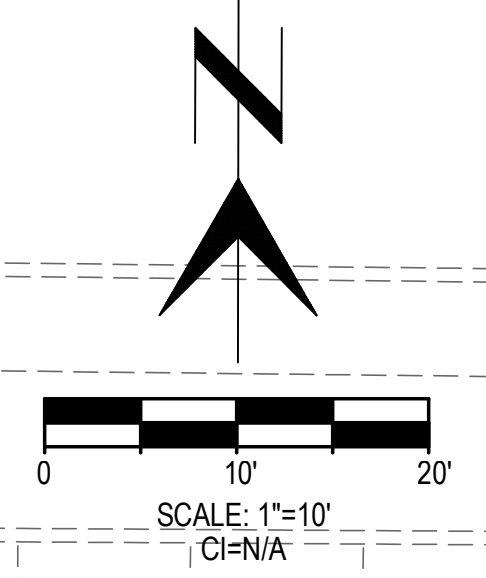
1200 N. EL DORADO PLACE  
SUITE H-820B  
TUCSON, AZ 85715  
(520) 425-3795  
PROJECT NO. 17006

DRWN. BY: RAH  
DSGN. BY: EEH  
CHKD. BY: EEH

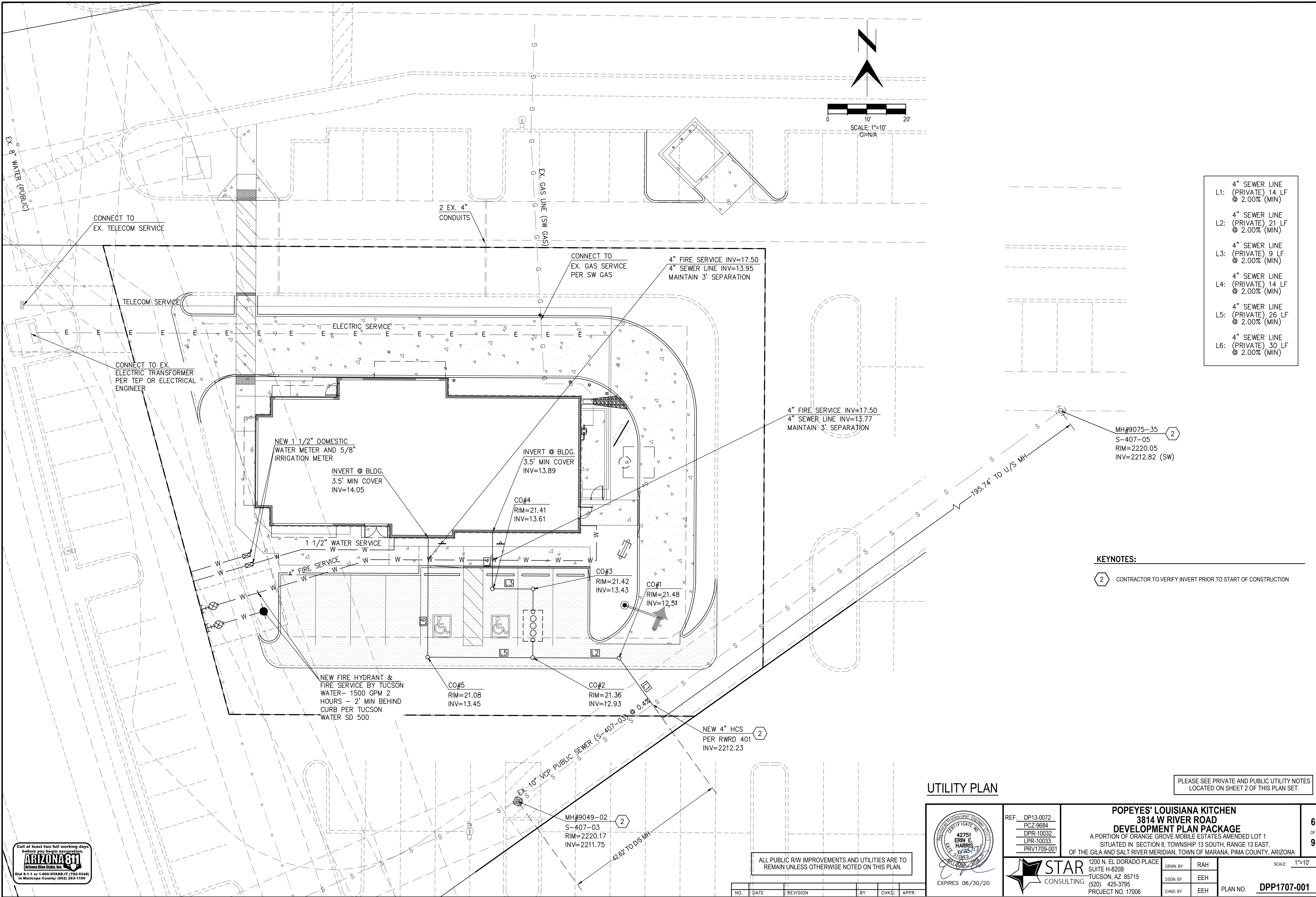
SCALE: N/A  
PLAN NO. **DPP1707-001**

NO.	DATE	REVISION	BY	CHKD.	APPR.





- 4" SEWER LINE  
L1: (PRIVATE) 14 LF  
@ 2.00% (MIN)
- 4" SEWER LINE  
L2: (PRIVATE) 21 LF  
@ 2.00% (MIN)
- 4" SEWER LINE  
L3: (PRIVATE) 9 LF  
@ 2.00% (MIN)
- 4" SEWER LINE  
L4: (PRIVATE) 14 LF  
@ 2.00% (MIN)
- 4" SEWER LINE  
L5: (PRIVATE) 26 LF  
@ 2.00% (MIN)
- 4" SEWER LINE  
L6: (PRIVATE) 30 LF  
@ 2.00% (MIN)



**KEYNOTES:**

2 CONTRACTOR TO VERIFY INVERT PRIOR TO START OF CONSTRUCTION

PLEASE SEE PRIVATE AND PUBLIC UTILITY NOTES  
LOCATED ON SHEET 2 OF THIS PLAN SET.

**UTILITY PLAN**



REF: DP13-0072  
PCZ-9684  
DPR-10032  
LPR-10033  
PRV1709-001

**POPEYES' LOUISIANA KITCHEN**  
**3814 W RIVER ROAD**  
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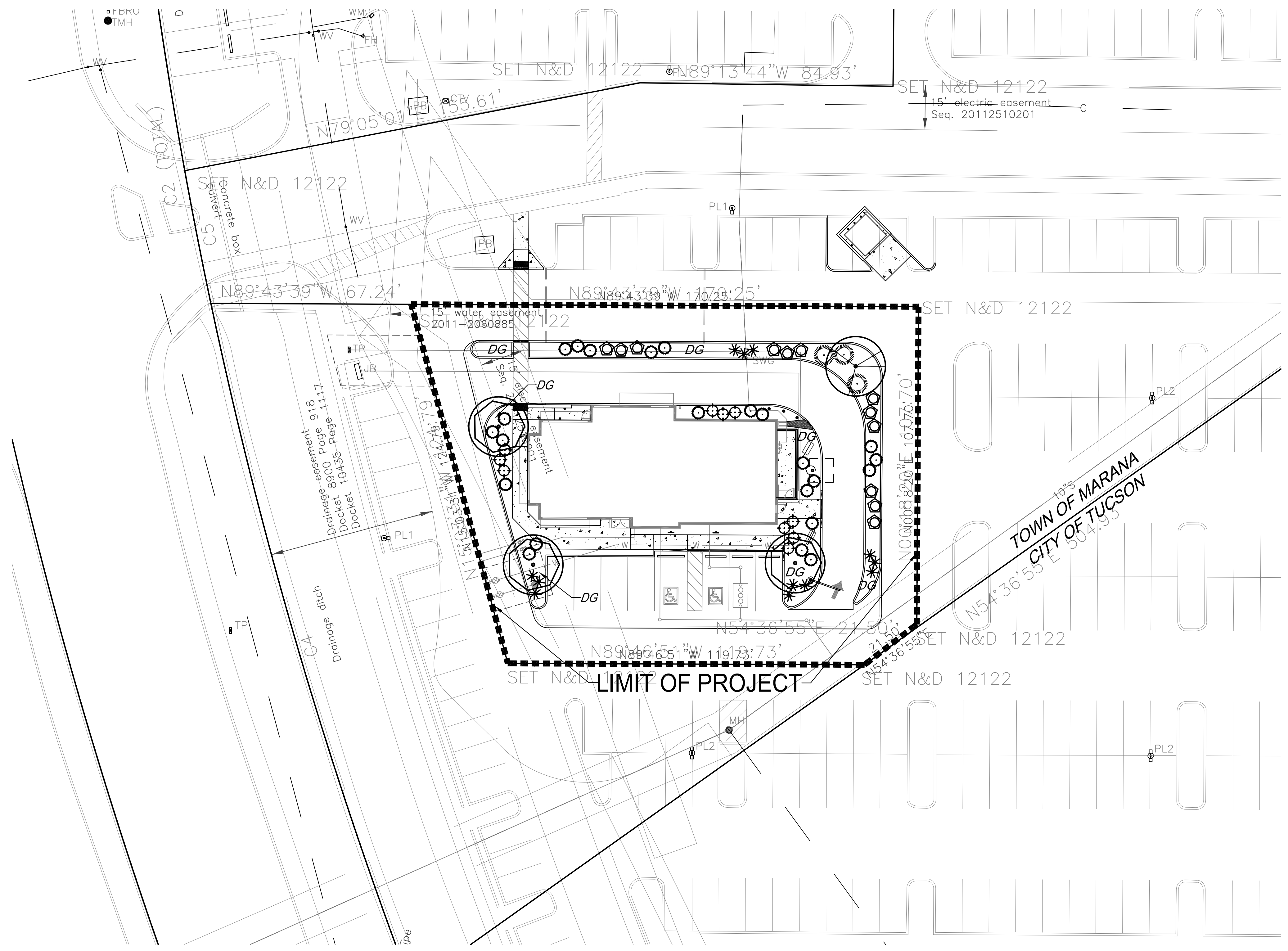
SCALE: 1"=10'  
 PLAN NO. **DPP1707-001**

ALL PUBLIC R/W IMPROVEMENTS AND UTILITIES ARE TO  
REMAIN UNLESS OTHERWISE NOTED ON THIS PLAN.

NO.	DATE	REVISION	BY	CHKD.	APPR.







**LANDSCAPE LEGEND**

ALL PLANT MATERIAL TO MEET OR EXCEED ARIZONA NURSERY ASSOCIATION SPECIFICATIONS

TREES	SIZE	QTY
Cercidium hybrid 'Desert Museum' / Desert Museum Palo Verde	15 Gal	3
Prosopis velutina / Native Mesquite	15 Gal	1

SHRUBS / ACCENTS	SIZE	QTY
Dasylirion wheeleri / Desert Spoon	5 Gal	3
Hesperaloe parviflora / Red Yucca	5 Gal	12
Leucophyllum candidum 'Thunder Cloud' / Thunder Cloud Sage	5 Gal	10
Leucophyllum langmaniae / Rio Bravo Sage	5 Gal	12
Lantana spp - Trailing Lantana / Gold & Purple, Mixed	1 Gal	23

GROUND COVER / HARDSCAPE	SIZE	QTY
3/8" Decomposed Granite / Apache Brown - 2" min thickness		

**LANDSCAPE NOTES**

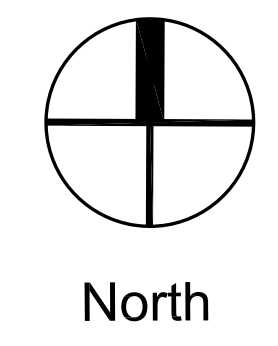
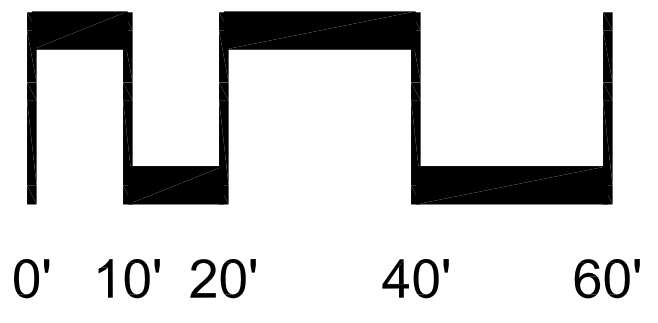
- All bare dirt areas to be covered with minimum 2" thick, 1/2" - 3/4" decomposed granite. Size and color to match existing in previously developed portions of Marana Marketplace.
- All landscape areas shall be depressed 6" for stormwater harvesting.
- All plants shall be irrigated with a permanent underground irrigation system -- see sheet L-2.
- The Property Owner shall be responsible for maintenance of the required landscape and irrigation system in perpetuity.
- Materials within the sight visibility triangles shall be placed so as not to interfere with a visibility plane described by two horizontal lines located 30 inches and 72 inches above finished grade of the roadway surface.
- Area of project not occupied by buildings or structures = 2,586 sf  
Percentage of landscape area required (10%) = 259 sf  
Actual landscape area provided = 1,861 sf.

**MAINTENANCE PROVISIONS**

Continuous maintenance provisions shall be provided on the landscape plan. Maintenance shall include a plan, which accommodates the following:

- The irrigation system should be designed to assure consistent water coverage of newly planted areas, regular watering of non-native species and specific watering schedule per plant type or xeriscape zone.
- Pruning methods shall allow maximum shading while preventing obstruction into walkways, curb areas, drives, and line of sight triangles. Tree clearance for pedestrian and automobile passage shall be a minimum of seven (7) feet once the tree has reached maturity. Pruning shall be consistent with the natural growth pattern or characteristic form of the plant. Opaque hedges are permitted.
- Ornamental landscaping shall require regular fertilizing, aerating and mulching schedules to encourage plant growth and water conservation.
- General landscape maintenance such as the clearing of debris, litter and weeds shall be included on a regular maintenance schedule.
- Any plant material in areas of required landscaping that does not survive shall be replaced with an equivalent size and species within thirty (30) days of the plant's demise. Failure to replace dead plant material within the specified time period shall constitute a zoning violation.
- Irrigation shall be routinely tested and shall be repaired and replaced as necessary to prevent excess spray or water to planted areas, curbs and pavement, clogged emitters at each plant and flooding of low lying areas.
- The contractor shall verify the existing pressure and notify the landscape architect of any discrepancy before continuing the work.
- Architectural and built structures, sculpture or decorative features, and exterior furnishings (benches, trash receptacles, etc.) shall be maintained to prevent injury, maintain access and prevent defacement.

Scale: 1" = 20'



DPP1707-001  
REF: DP13-0072  
PCZ-9684  
DPR-10032  
LPR-10033  
PRV1709-001

**LANDSCAPE PLAN**  
**Popeyes' Louisiana Kitchen**  
3814 W River Rd  
A Portion of Orange Grove Mobile Estates Amended Lot 1  
Situated in Section 8, T-13-S, R-13-E,  
G&SRM, Town of Marana, Pima County, AZ

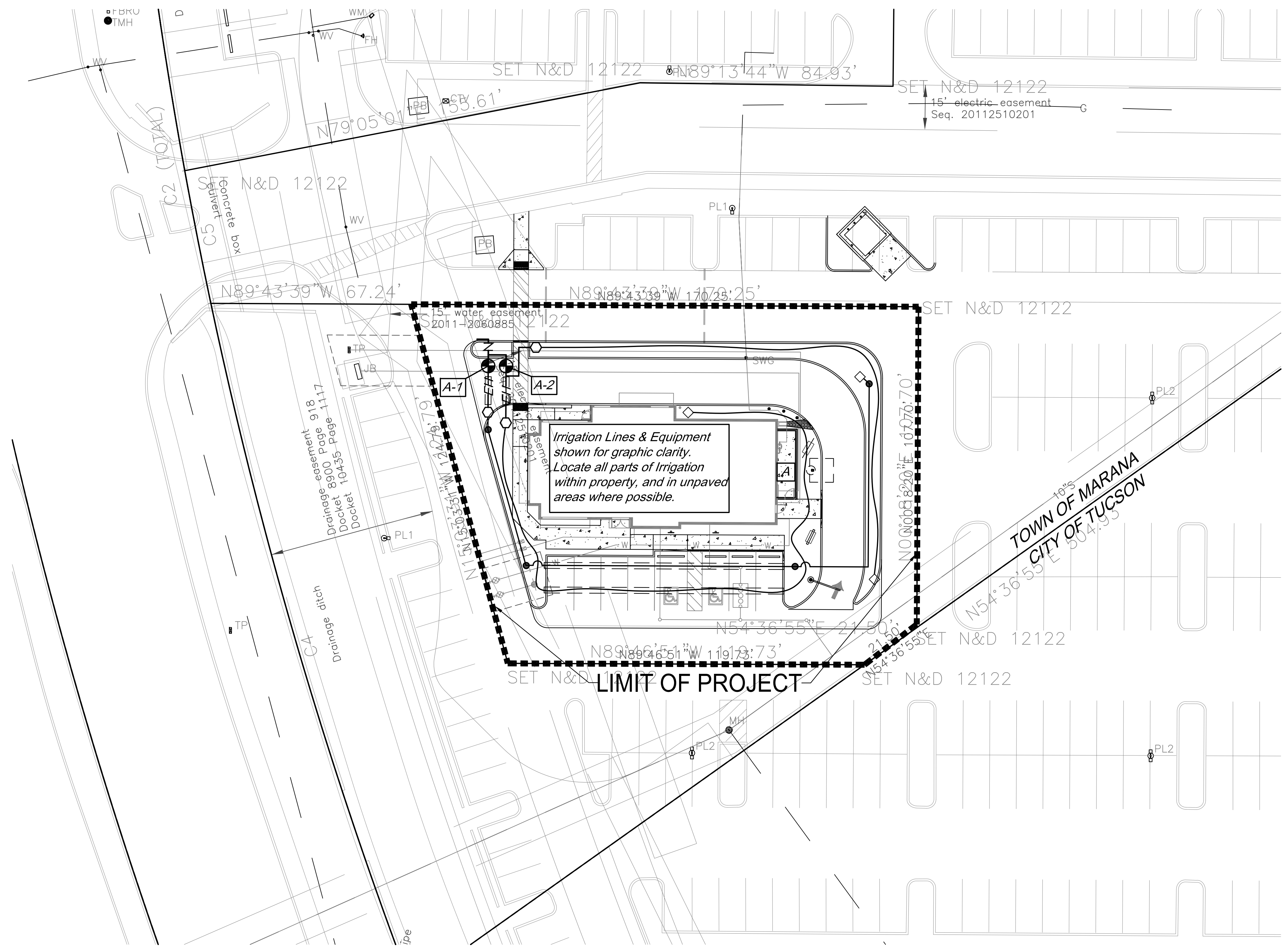


11047 N. Cloud View Place  
Tucson, AZ 85737  
(520) 877-8037  
fax (520) 877-8079


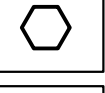
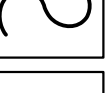
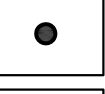
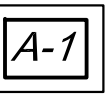
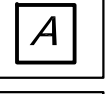

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Drawn by:	LMW	<input type="checkbox"/> Construction Documents
Checked by:	GRS	<input checked="" type="checkbox"/> Agency Submittal
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**L-1**  
7 of 9



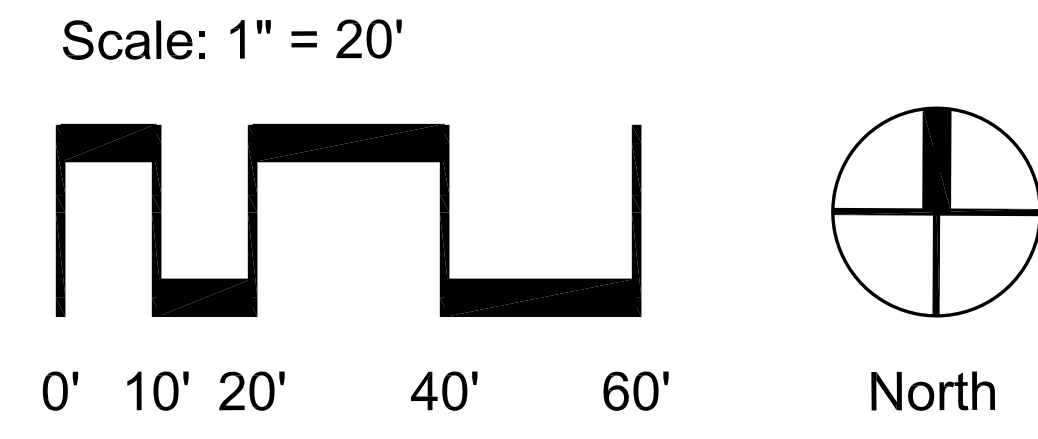


**IRRIGATION LEGEND**

-  Reduced Pressure Backflow Preventer, Mainline Size
- Mainline - Schedule 40 PVC 1" unless otherwise noted
- Remote Control Valve - 1" - Rainbird 100 PEB and Rainbird RBY-100C Filter
- Emitter Header - Schedule 40 PVC 1" unless otherwise noted
-  Pressure Regulator - Fixed Outlet Pressure @ 40 psi - flow as required
-  Poly line - .580 poly line
- Emitter Line (Trees) - Class 200 PVC - 3/4" unless otherwise noted
-  Multiport Emitter - Rainbird XBT-10-6
- Sleeves - Schedule 40 PVC - 2" unless otherwise noted
-  Valve ID
-  Controller - Rainbird ESP-SMT with weather sensor
-  Hose End Caps

**IRRIGATION NOTES**

1. Contractor shall coordinate electric for irrigation controller. Contractor shall provide sleeves for remote control valve wires.
2. Irrigation plans are schematic. Locate lines and equipment in unpaved areas wherever possible.
3. Locate weather sensor so it is unimpeded by any structural elements.
4. Shrubs shall have (1) 1-gph emitter per 1 gallon plant and (2) 1-gph emitters per 5 gallon plant. Emitters shall be Rainbird Rainbug or approved equal.
5. Irrigation is designed at a minimum pressure of 50 PSI after the backflow preventer, and a minimum available flow of 5 gpm.



DPP1707-001  
 REF: DP13-0072  
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**IRRIGATION PLAN**  
**Popeyes' Louisiana Kitchen**  
 3814 W River Rd  
 A Portion of Orange Grove Mobile Estates Amended Lot 1  
 Situated in Section 8, T-13-S, R-13-E,  
 G&SRM, Town of Marana, Pima County, AZ

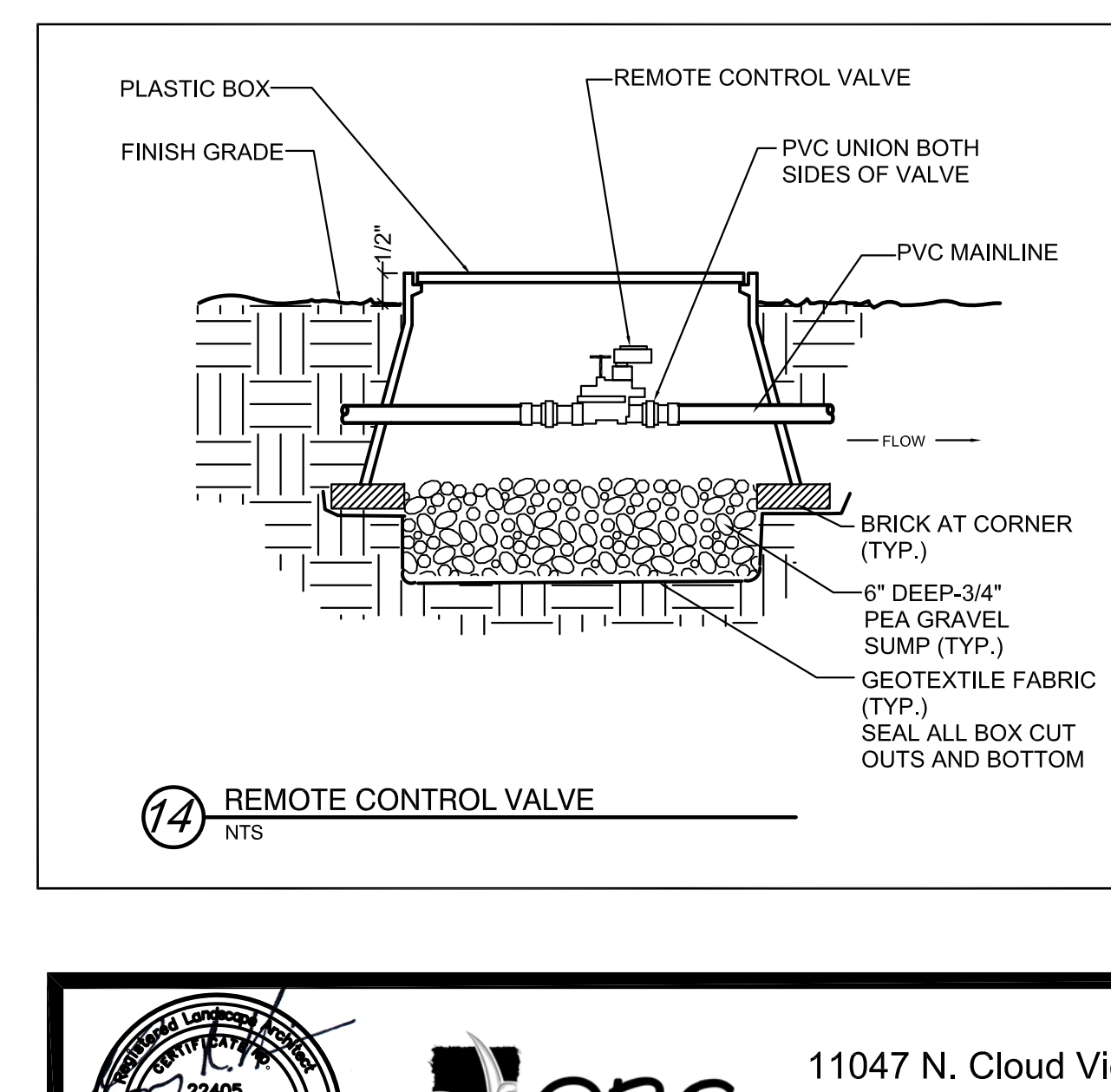
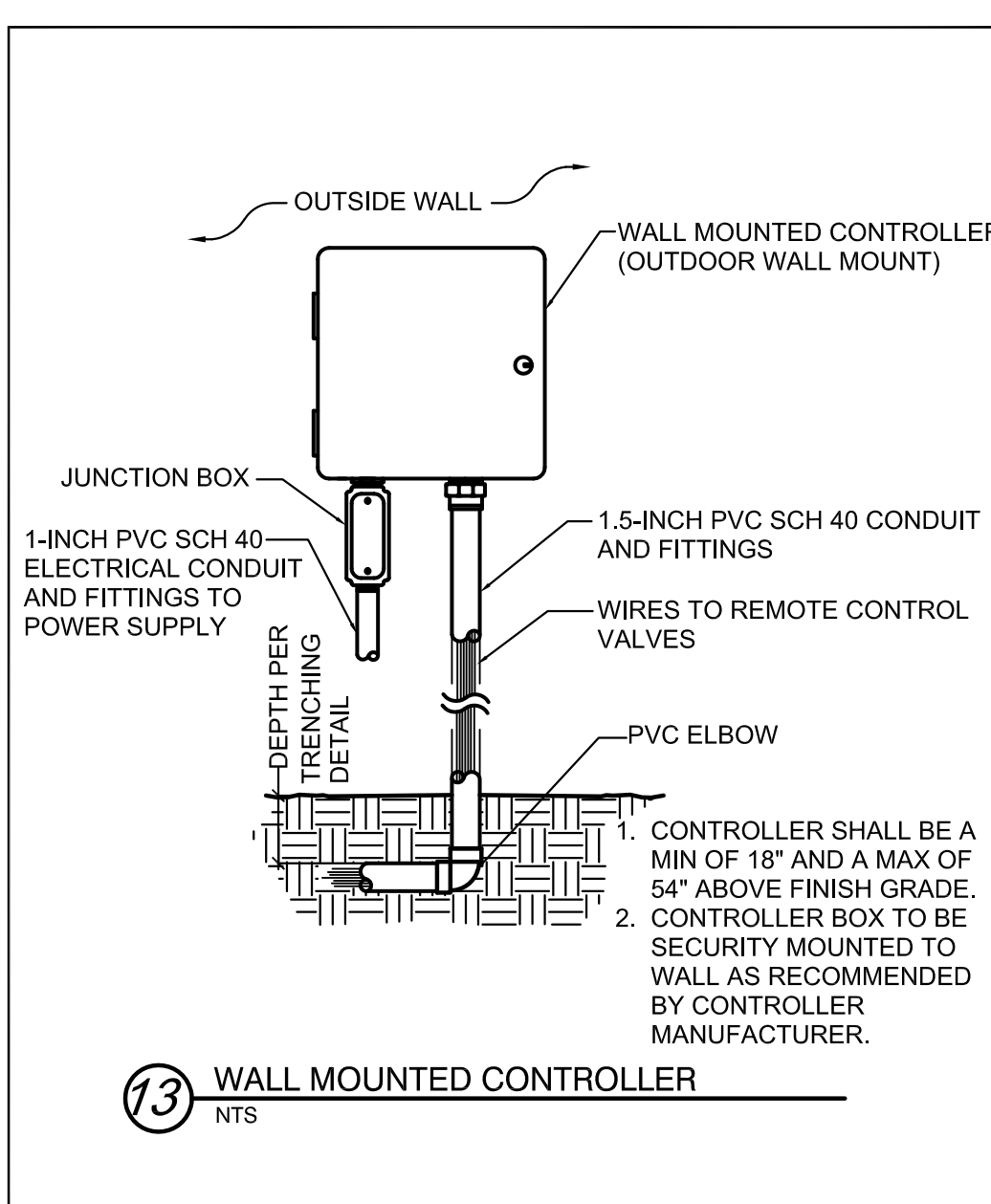
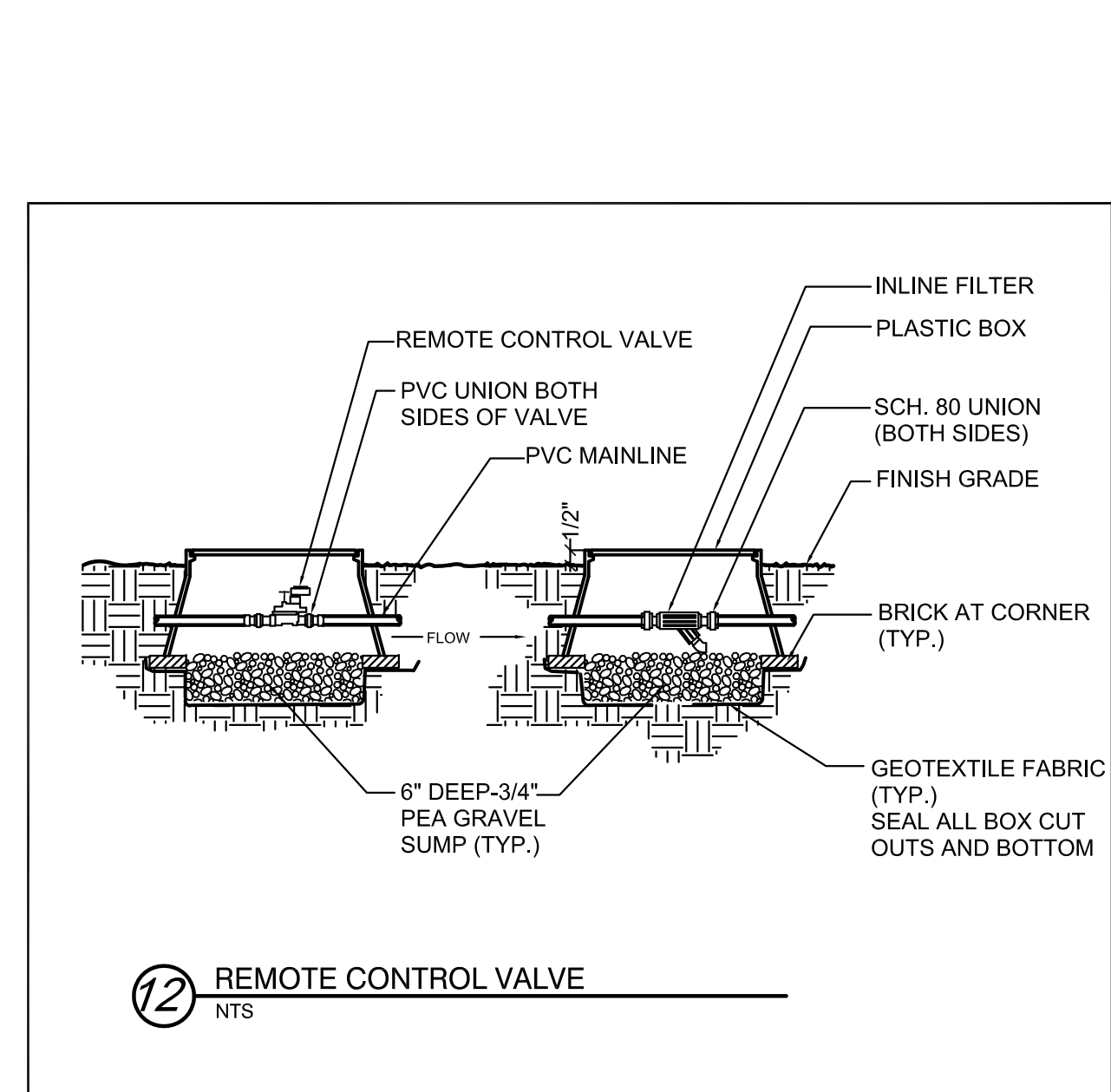
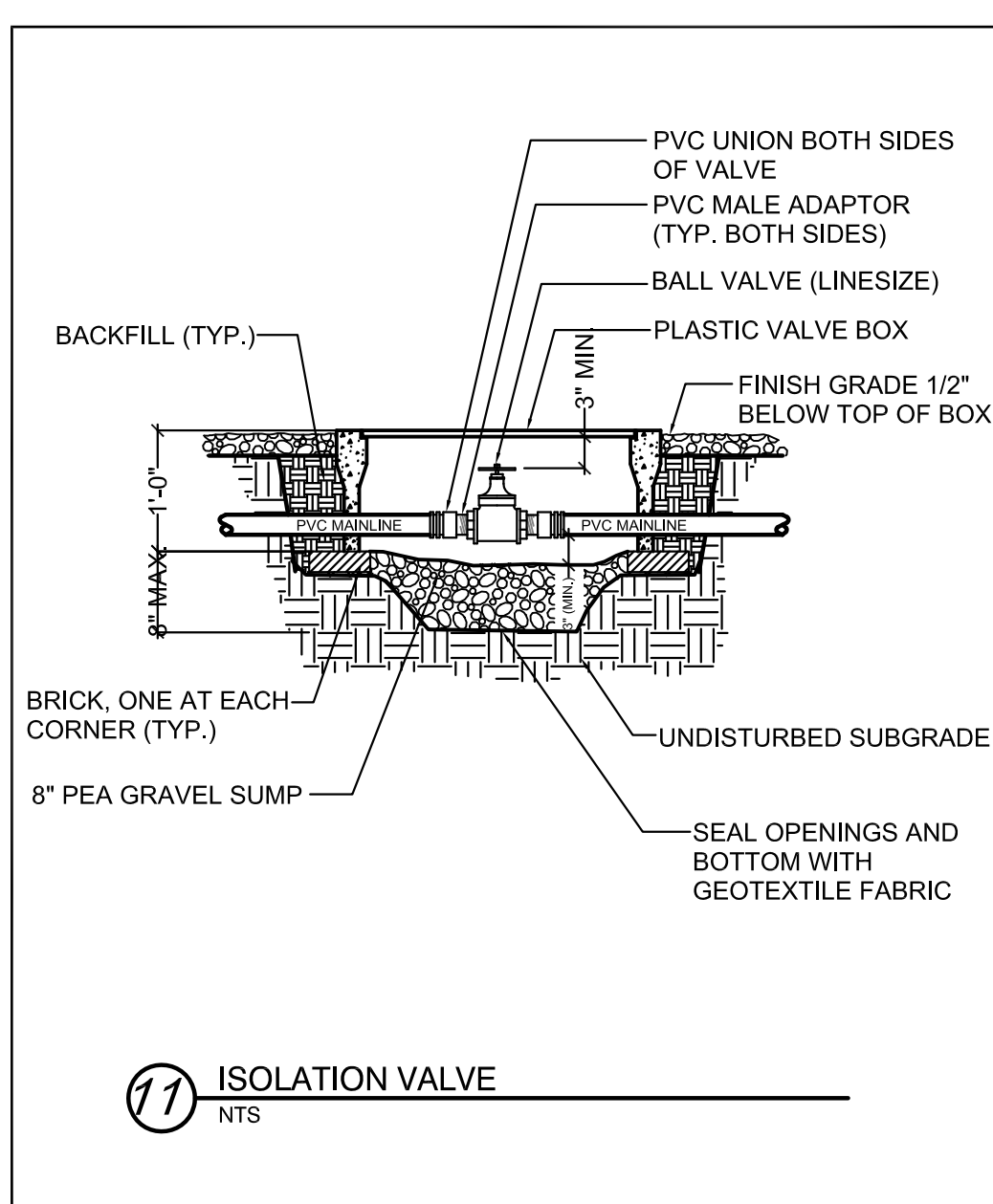
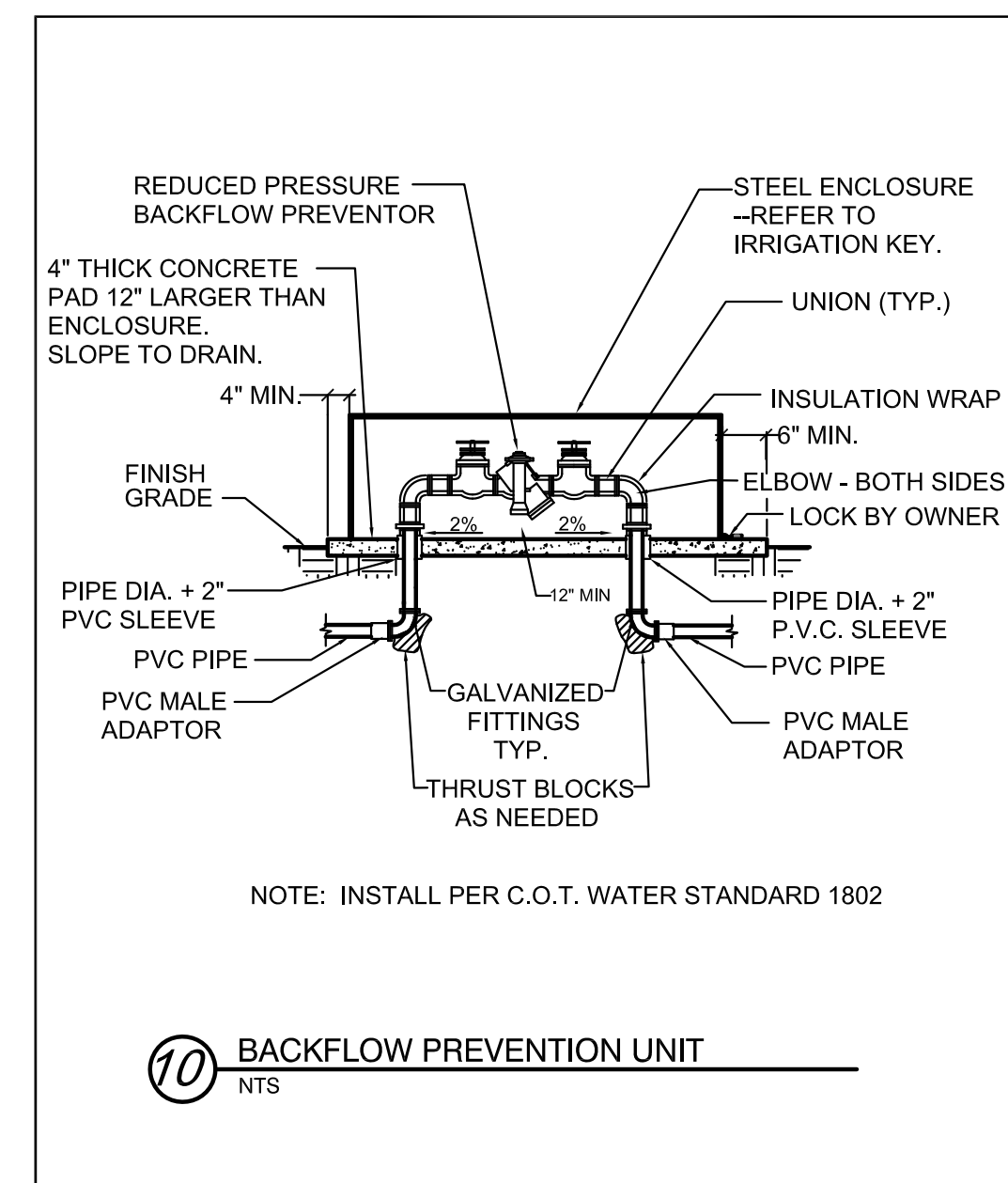
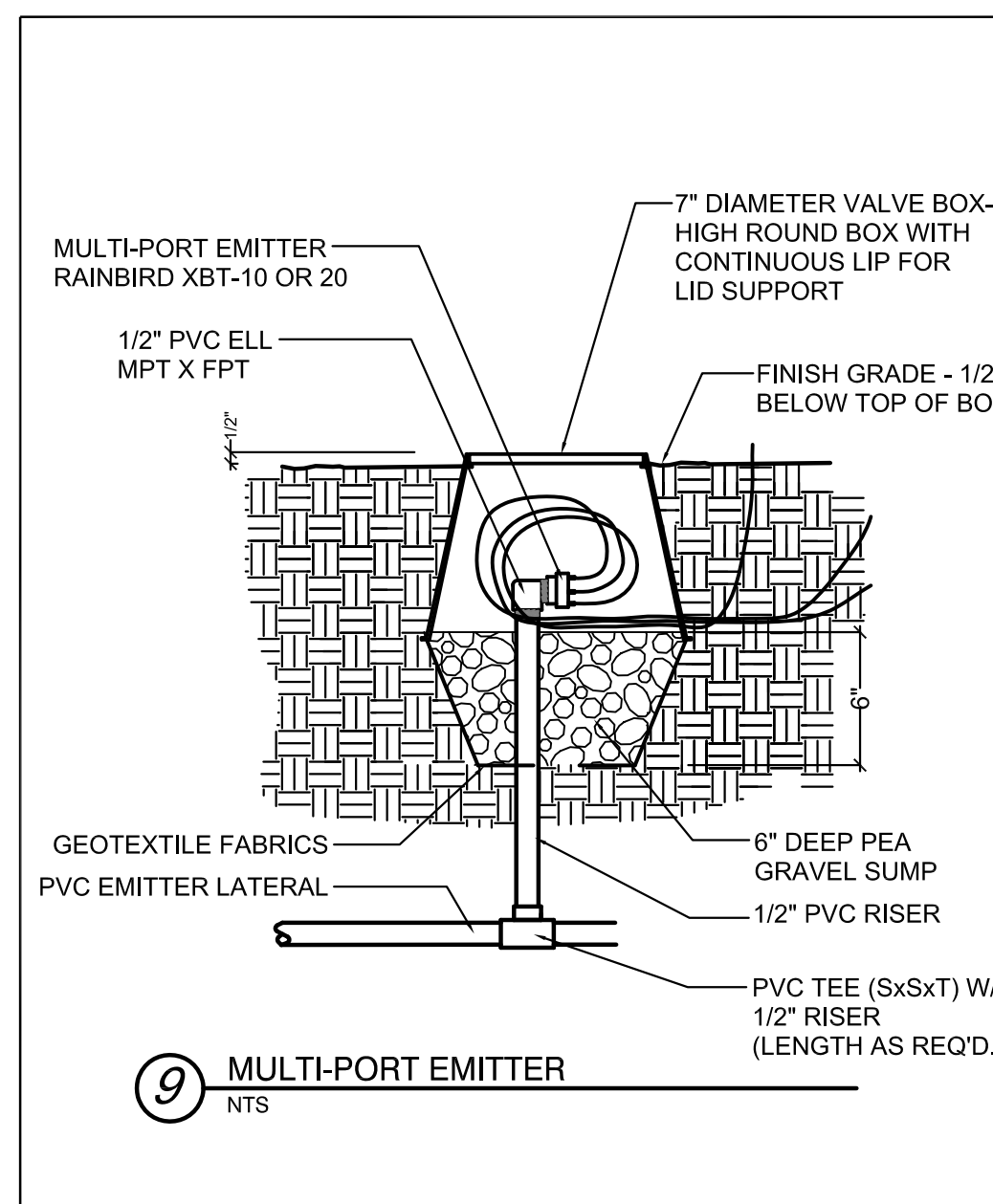
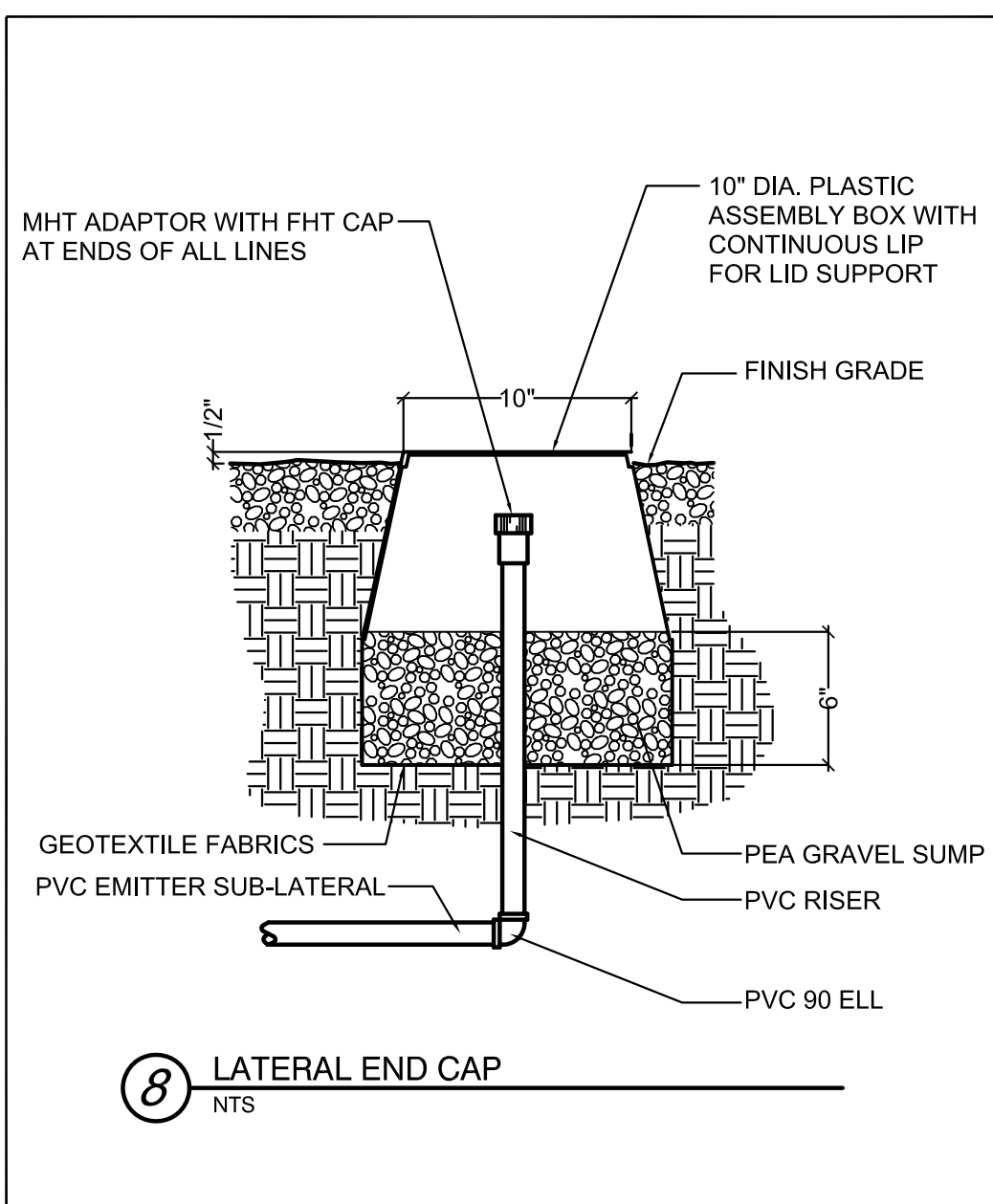
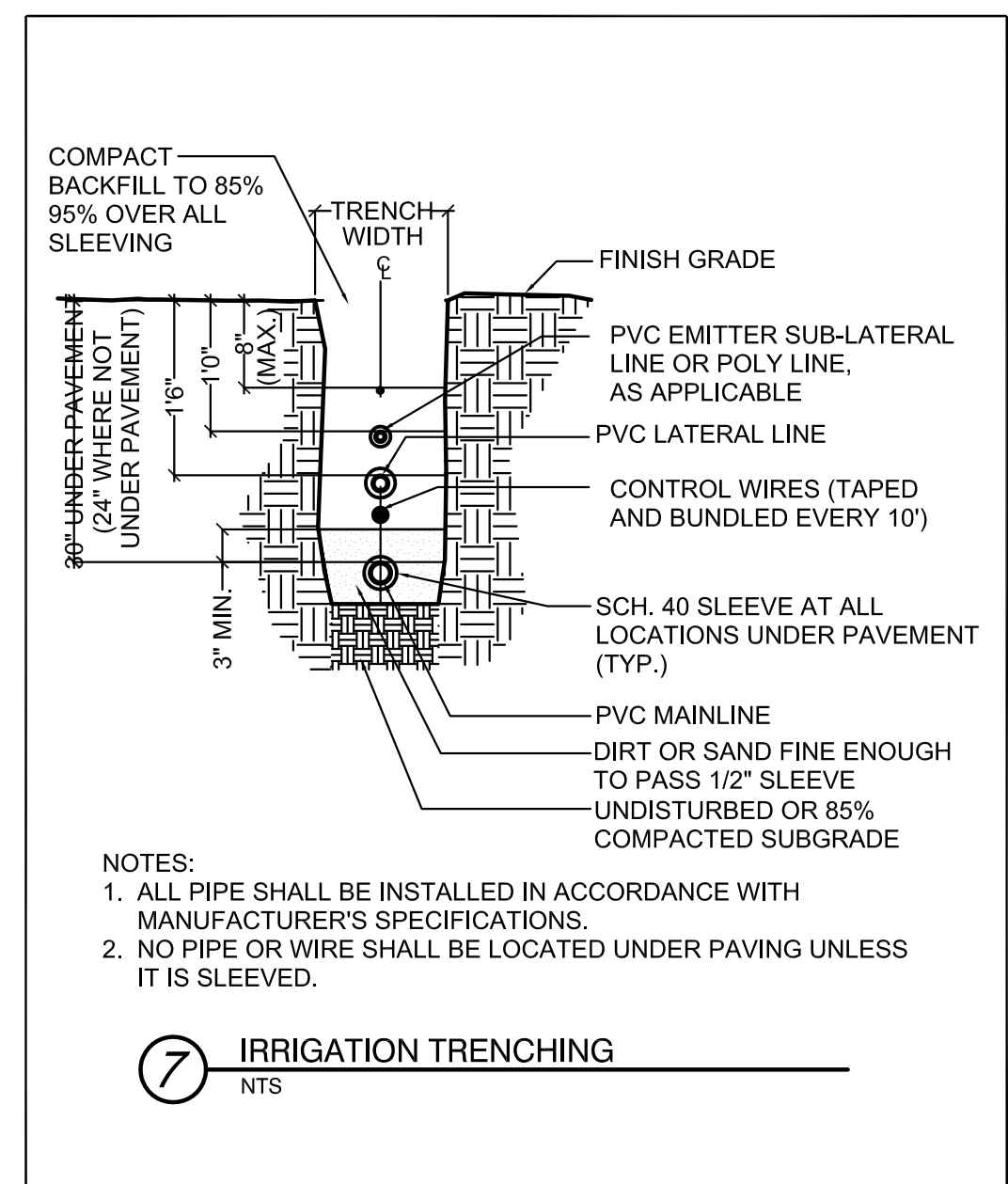
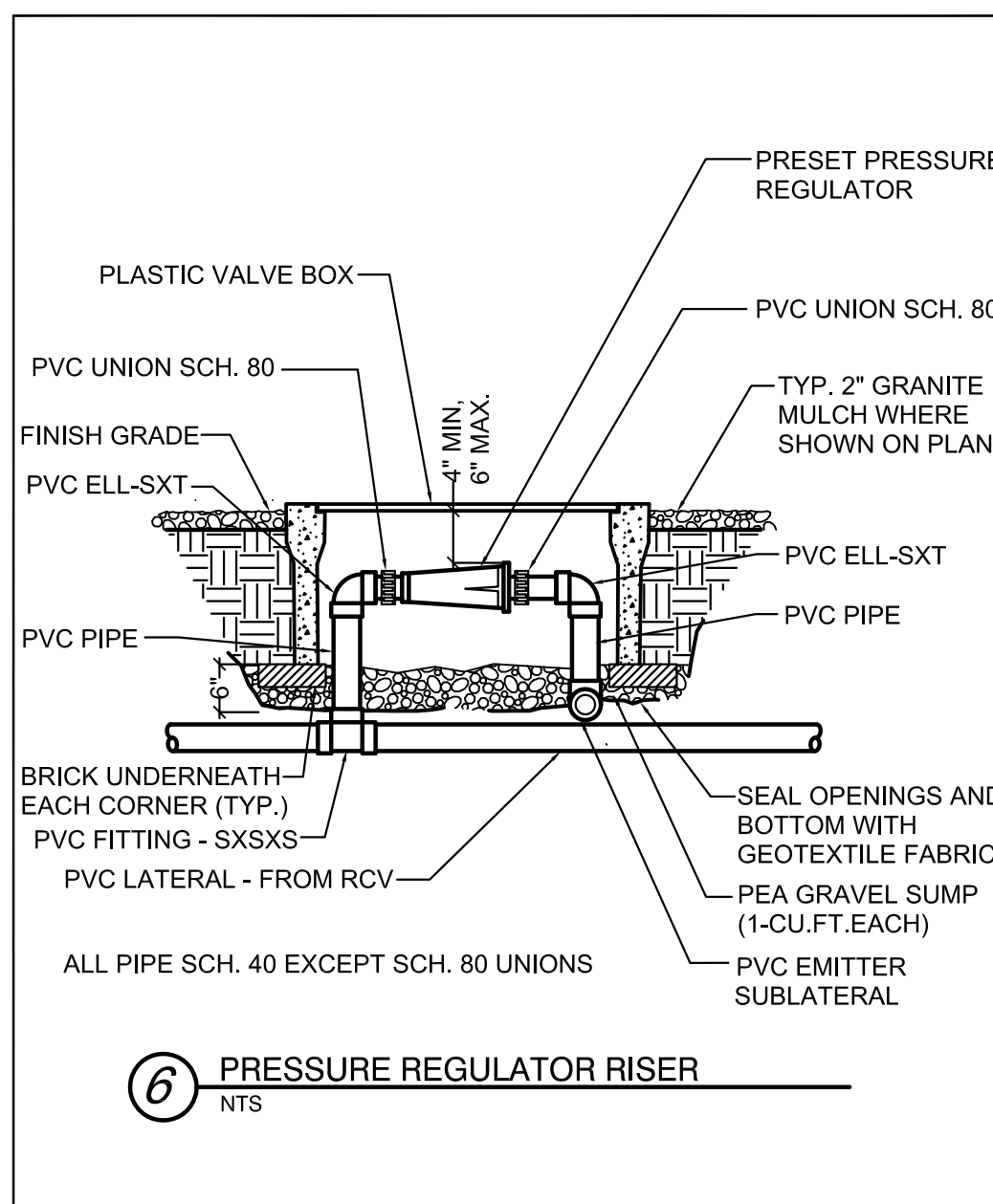
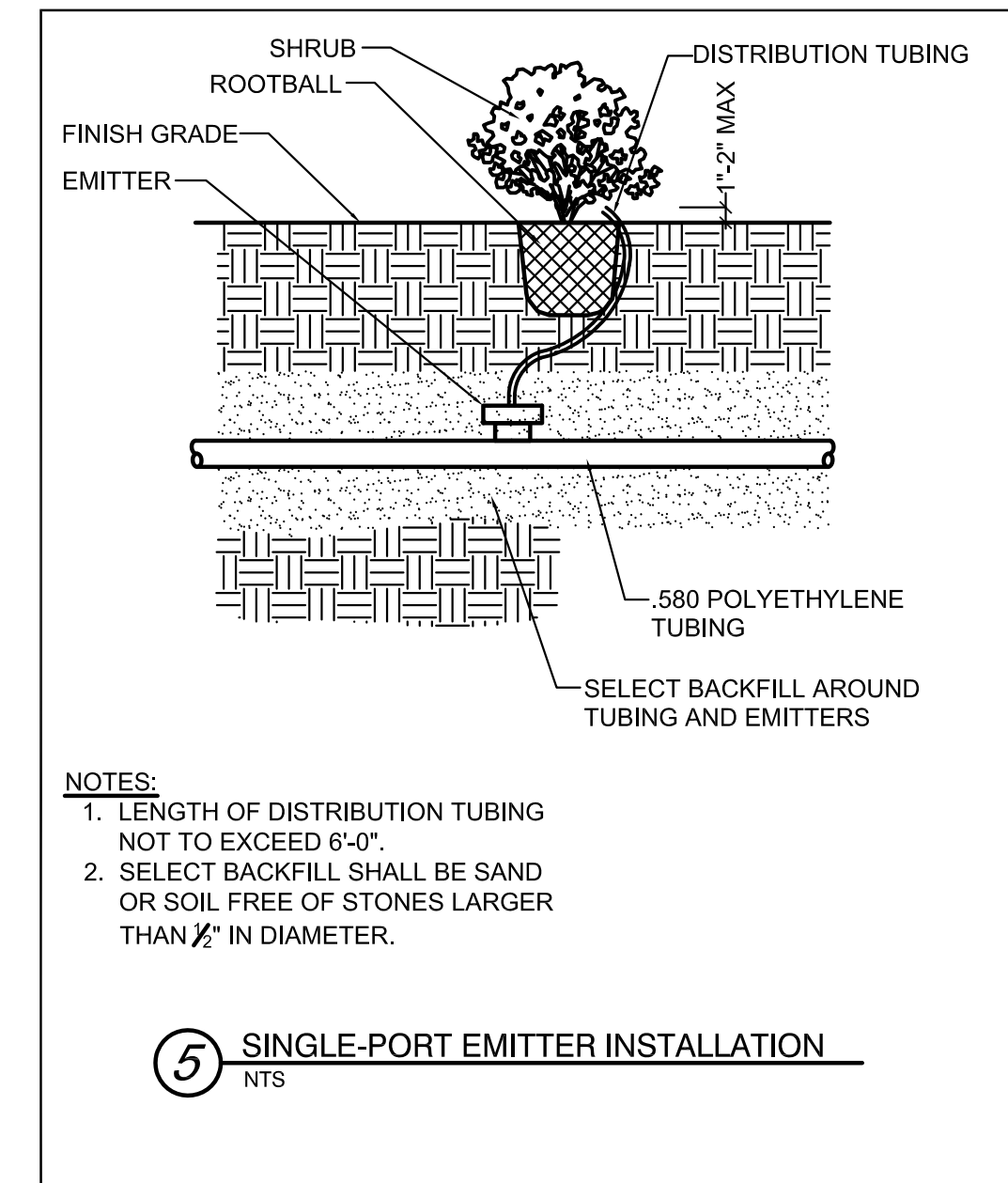
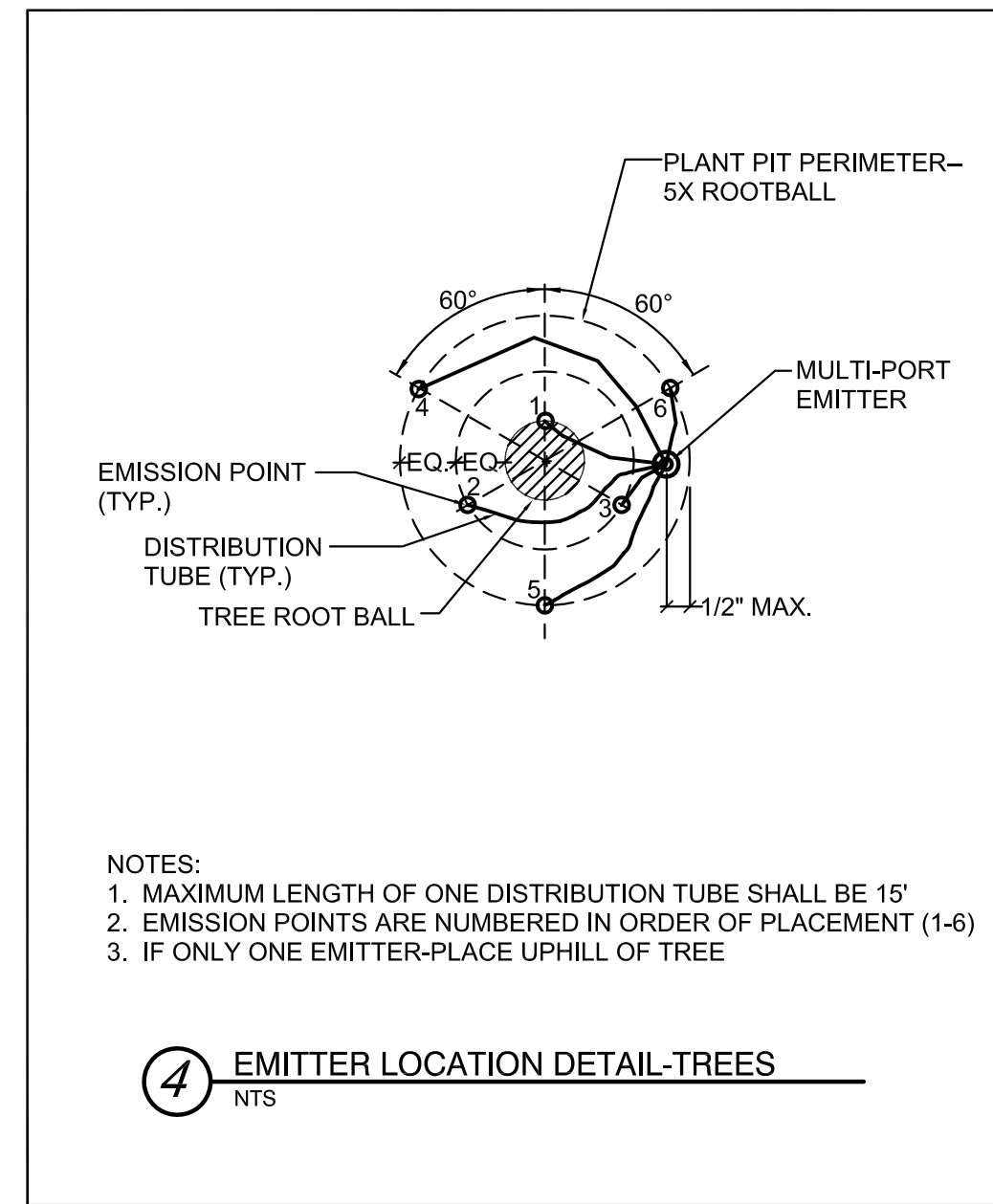
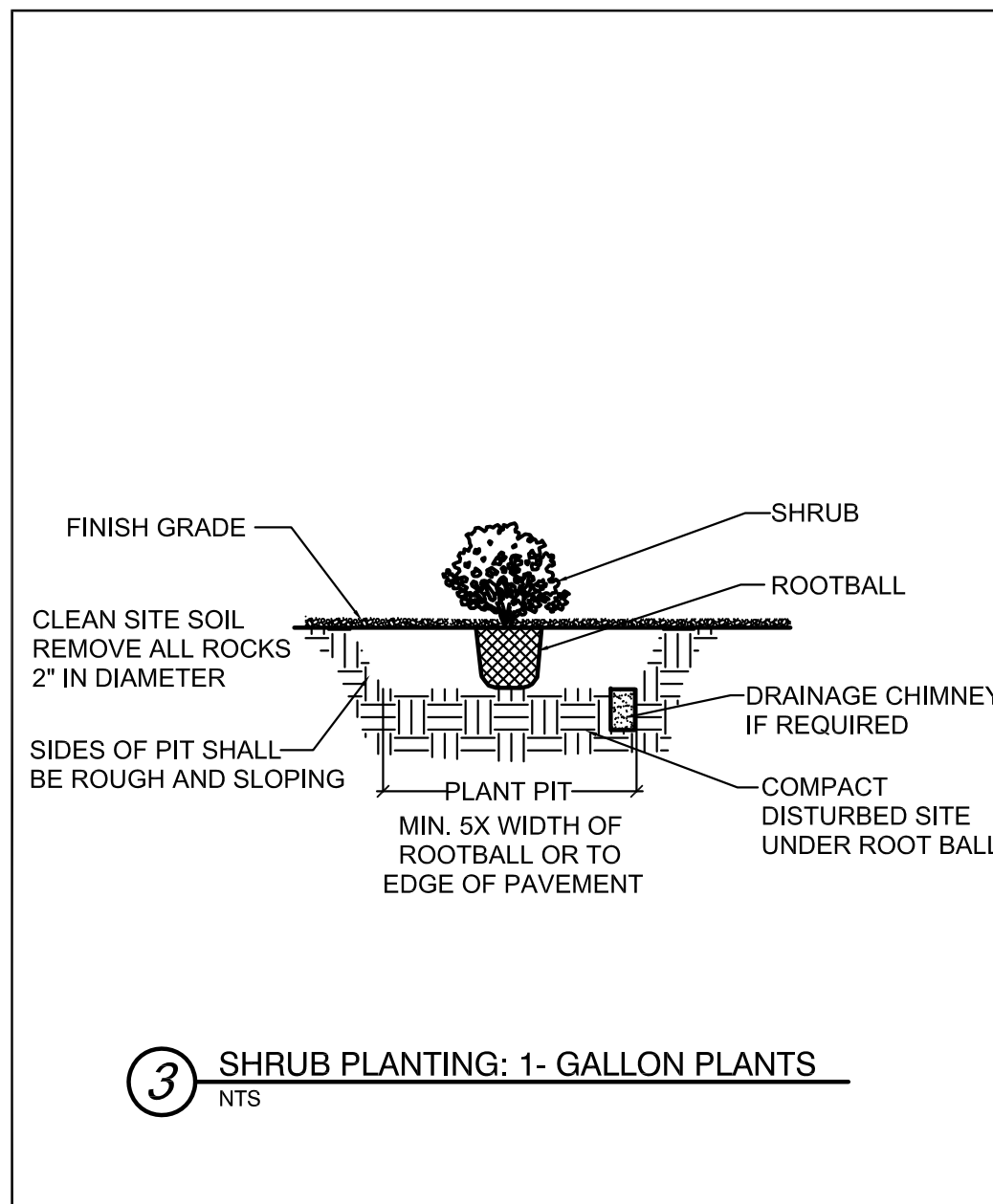
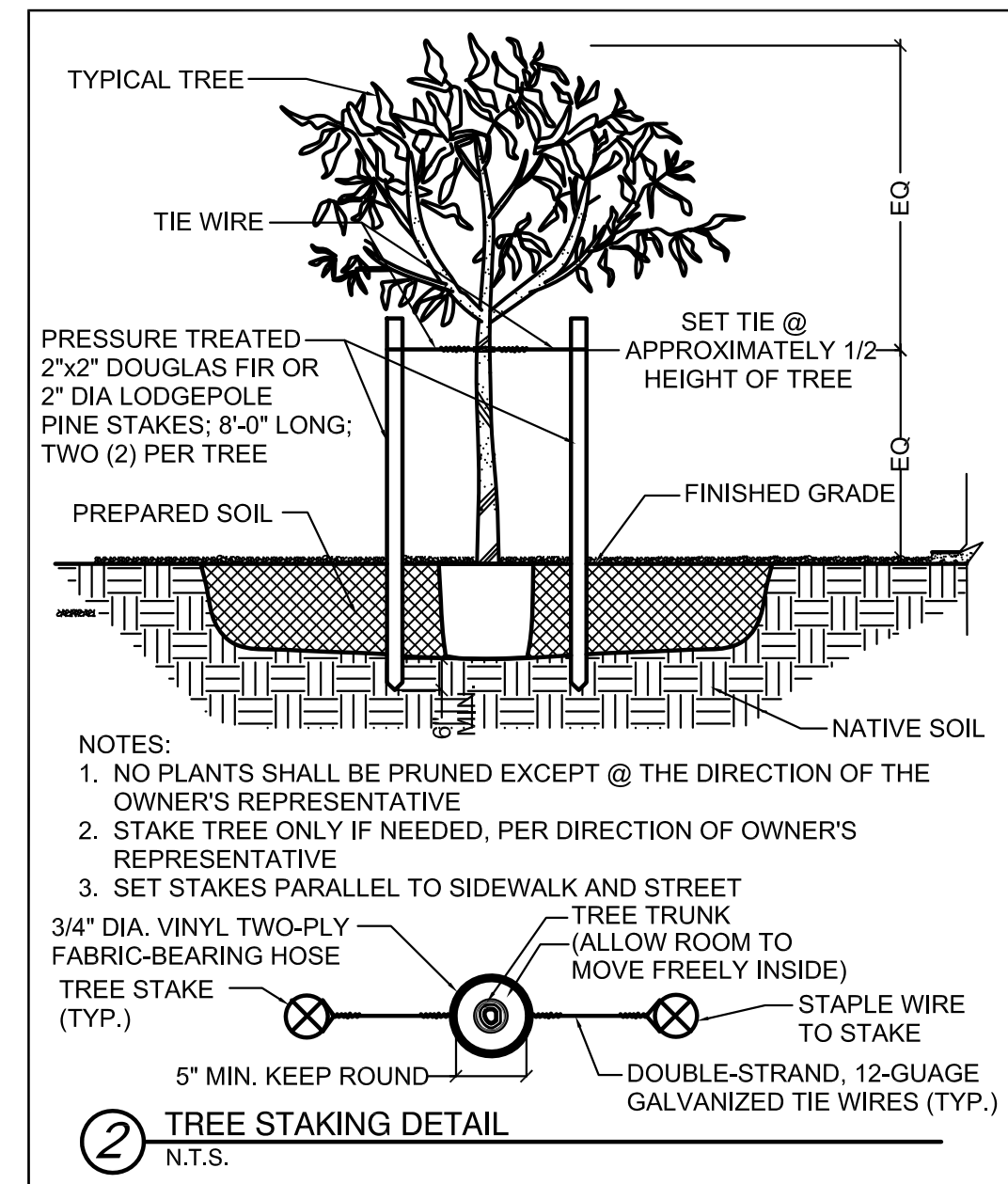
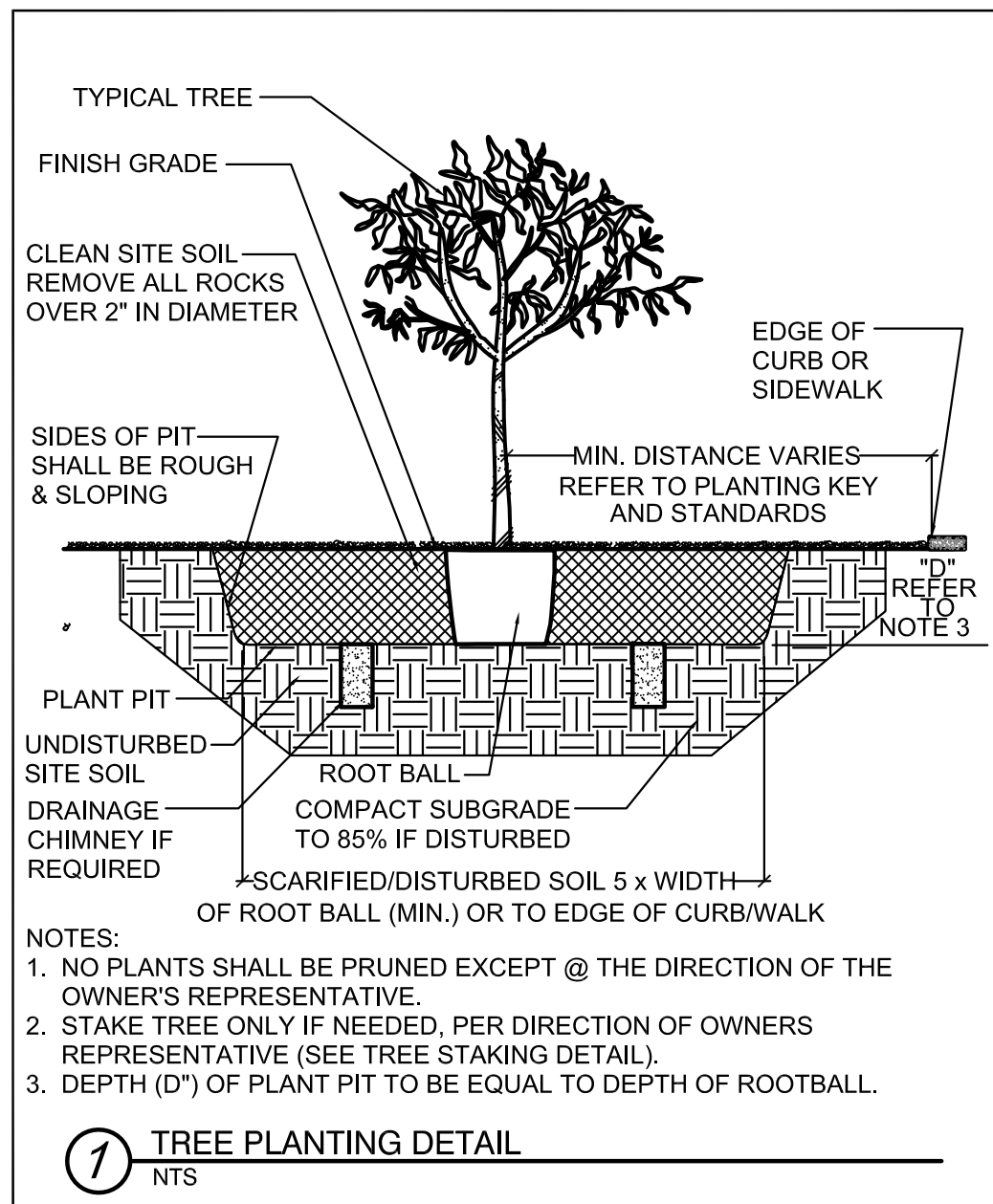


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Date: 10/25/17  
 Drawn by: LMW  
 Checked by: GRS

Design Review  
 Construction Documents  
 Agency Submittal  
 Construction Set  
 Not for Construction





DPP1707-001  
 REF: DP13-0072  
 PCZ-9684  
 DPR-10032  
 LPR-10033  
 PRV1709-001

**CONSTRUCTION DETAILS**  
**Popeyes' Louisiana Kitchen**  
 3814 W River Rd  
 A Portion of Orange Grove Mobile Estates Amended Lot 1  
 Situated in Section 8, T-13-S, R-13-E,  
 G&SRM, Town of Marana, Pima County, AZ

**GRS**  
 LANDSCAPE ARCHITECTS, LLC

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L-3  
 9 of 9